

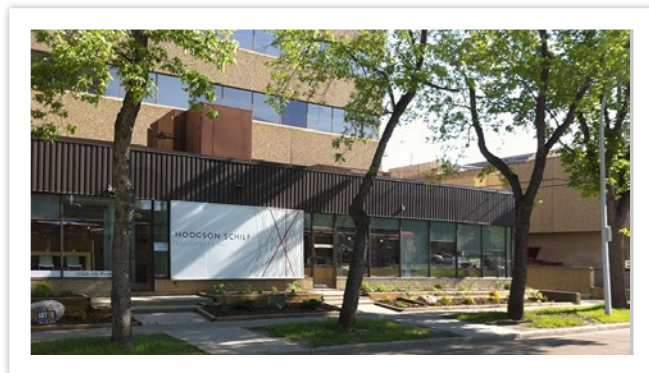
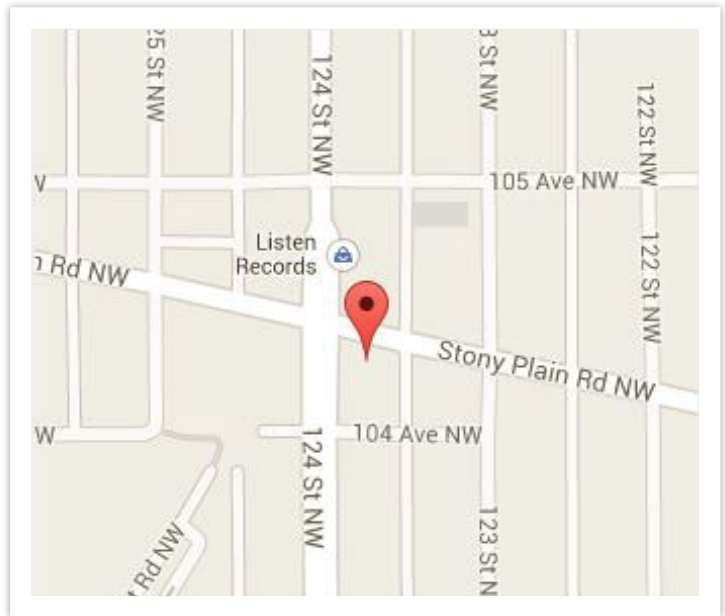
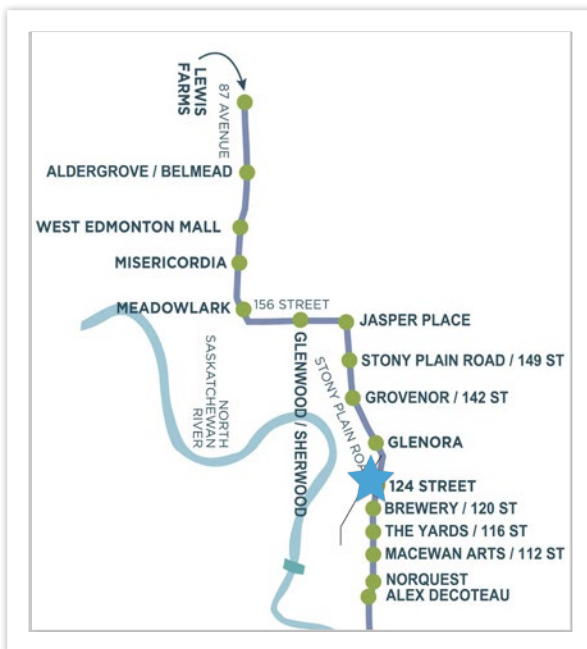
Westcor Building

12323 Stony Plain Road | Edmonton, Alberta

Property Features

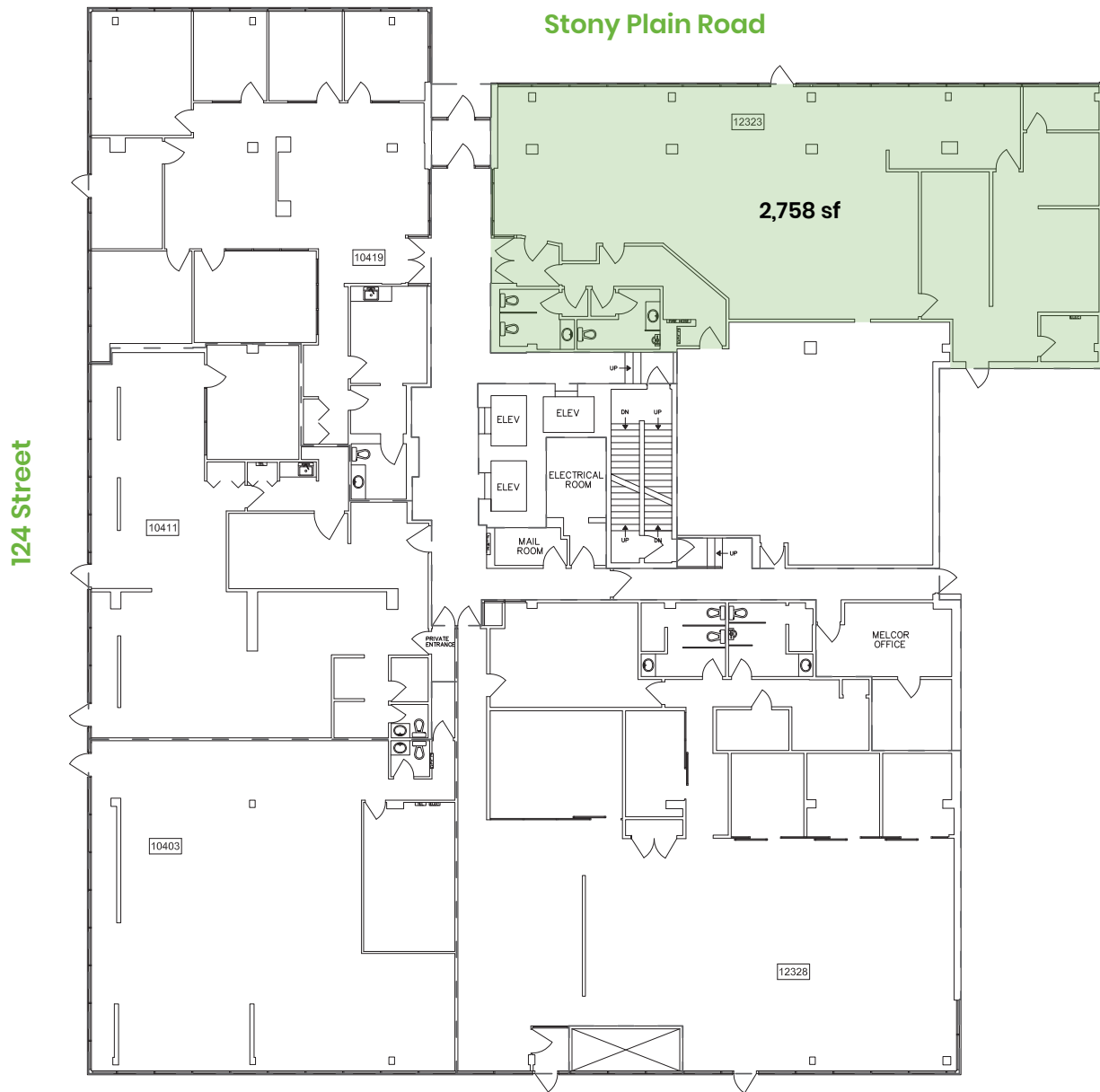
- Prime 124th Street location
- Direct access to major bus routes
- Future Valley Line LRT Stop
- Excellent access to Stony Plain Road and Jasper Avenue
- Flexible HVAC hours
- Ample parking
- Competitive lease rates and operating costs
- BOMA BEST level 2: Certified green and responsible
- Professionally managed by Melcor REIT with signature Customer Care

Intersection	124 Street 104 Avenue
Type	Main Floor Retail
Gross Leasable Area	72,810 sf
Floors	7
Floor Plate	10,000 sf
Parking Ratio	1:1,000
Year Built	1978
2019 Operating Cost	\$15.84/sf



Main Floor Retail

Westcor Building



Population	Westmount: 5,887 Glenora: 3,513 Oliver: 18,123	Traffic Count	Stony Plain Road: 34,600 VPD 124 Street: 26,700
Walk Score	91 Walker's Paradise	Transit Score	60 Good Transit

For additional information or a tour, please contact:

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