
THE VISTA

AT RYDERS RIDGE

ARCHITECTURAL GUIDELINES



THE **VISTA**
AT RYDERS RIDGE



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1. INTRODUCTION

The Vista is a master planned community located in Sylvan Lake Alberta.

These Architectural Guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form and to promote an awareness of environmental sustainability. Home owners and designers are to use these Architectural Guidelines as a guide when planning their new home.

The Vista Architectural Guidelines have been written in a definitive manner with multiple examples which will allow creativity and create harmony and continuity in home design within the community.

The approved architectural styles for the community will be the Modern Architectural Style.

To ensure this document is understood and applied, Melcor Developments will assign a Design Review Consultant. This Consultant will need to approve all plans prior to construction. The purpose of a Design Review Consultant is to ensure a collaborative approach towards successful neighbourhood design and construction.

It is the responsibility of the Builder/Owner to become familiar with these guidelines and design their housing projects in accordance with them.

1.1 LOCATION PLAN

The Vista is located in Ryders Ridge in the Town of Sylvan Lake.





N.T.S.



1.2 NEIGHBOURHOOD PLAN



LEGEND

- | | | | |
|---|--|---|-----------------------|
|  | Low Density Residential District (R1) |  | Municipal Reserve |
|  | Medium Lot Residential District (R1A) |  | Roadways |
|  | Medium Density Residential District (R2) |  | Out Parcel |
|  | High Density Residential District (R3) |  | Memorial Trail ROW |
|  | Narrow Lot General Residential District (R5) |  | Community Amenity |
|  | Neighbourhood Shopping Centre (CNS) |  | Entry Feature |
|  | Social Care Site |  | Potential Access |
|  | Public Utility Lot |  | Outline Plan Boundary |

2. GENERAL RULES

The Design Review Consultant will complete a review of all house plans to ensure compliance with the Architectural Guidelines. An approved plan will be provided by the Architectural reviewer on the elevation drawings and site plan upon final approval.

The builder must bring the approved plans when submitting for a development permit and building permit to the Town of Sylvan Lake.

All construction must comply with the current Town of Sylvan Lake Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a Building Permit from the Town and Grade Slip form which is prepared by the Consulting Engineer. Conformity with the Guidelines does not supersede the required Town of Sylvan Lake approval process.



3.1 HOUSE PLACEMENT

Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize the lot space.

Designers should take into consideration the lot width, length and shapes as houses should be conforming to these dimensions. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot. Refer to setback plan and garage plan to ensure the front door is prominent and every house has visual appeal from the street.

3.2 HOUSE SIZE

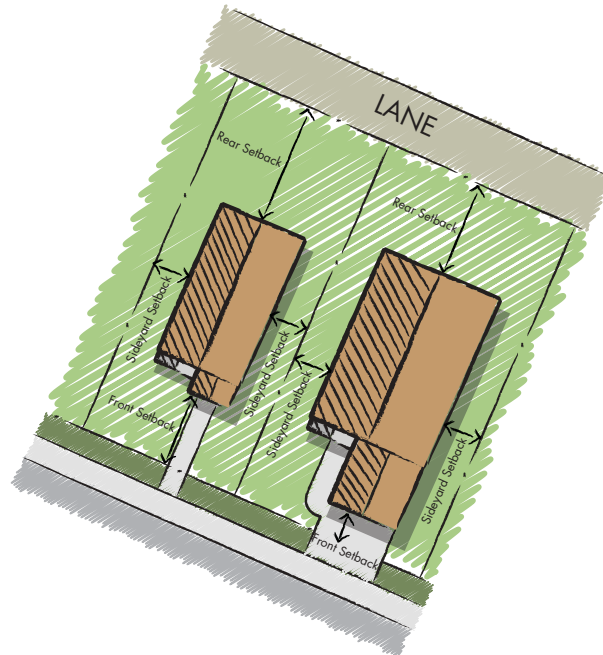
R1 Lots- All houses shall have a minimum exterior width within 1.5m (5'-0") of the building pocket width for the lot. Where the width is not uniform between the front and the back of the lot, the garage is to be offset to meet this objective.

R5 Lots - All houses shall have a minimum exterior width within 1.25m (4'-0") of the building pocket width for the lot. Where the width is not uniform between the front and the back of the lot, the garage is to be offset to meet this objective.

3.3 SETBACKS

Front/Rear Yards - Houses are to be sited in accordance with the Setback Plan provided by Melcor Developments and approved by The Town of Sylvan Lake.

Side Yards - Owners/Builders are encouraged to make the best use of all open spaces within their property.



3.4 GRADES

Grade sheets for each lot are available and may be obtained from the Melcor Development office or from the Melcor website. Lot grading is to conform to the subdivision plan. Grades at the corners of the lots are not to be altered from those shown on the grading slips. Any costs incurred by changes from the approved grade plan shall be the responsibility of the Owner/Builder. Corrections must be done with the completion of the house.

The landscaped grade of a lot should always slope away from the house; be integrated into the subdivision system of drainage; and not drain into the neighbouring lots.

The landscaped building grade must be as shown on the grade slip, however the Design Review Consultant reserves the right to approve adjustments.

3.5 GARAGES

The garage location will be noted on the Garage Location Plan, builders are to use the garage location as shown. If a side drive garage is chosen, the garage should be on the same side of the lot that was intended to be, so it does not impede the view from the front of the neighbouring homes.

3.6 RETAINING WALLS

Where retaining walls are required, it is recommended that they are constructed using natural materials. Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material. i.e , decorative concrete or concrete with a stone or brick facing. Concrete wing walls will be acceptable when not visible from the street and require approval from the Design Review Consultant.

Retaining walls will be limited to a height of 4 feet. All retaining structures must be within property lines. If the grade of the lot necessitates a retaining wall in excess of 4-0 (four feet), the wall must be stepped back a minimum of 3-0 (three feet) for every 4 feet of vertical.



3.7 LANDSCAPE & FENCING

Builders/Owners are encouraged to design homes to suit the shape and topography of the site. Development of the site through the use of landscape elements will address the need for privacy and shade.

Landscaping for each home should support the theme of The Vista and be coherent. All homeowners are encouraged to complete the fencing and landscaping of their yards within 12 months of occupying the residence.

Melcor Developments will provide a black ornamental fence along homes that back onto open spaces and public areas. Refer to Marketing Plan for fence locations.

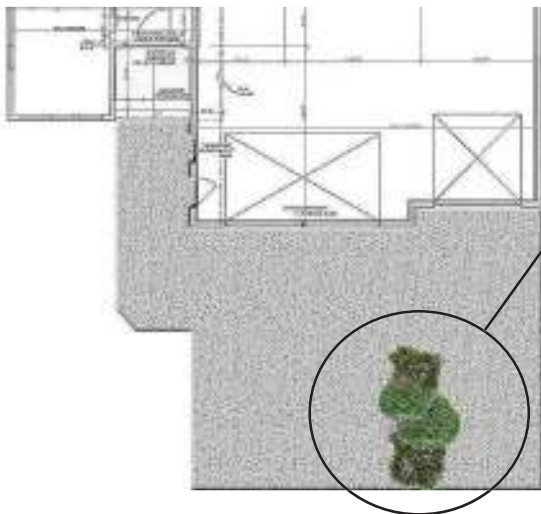


3.8 WALKWAYS & DRIVEWAYS

Minimal use of hard surfaces is encouraged, but where necessary (i.e. driveways, walkways, and patios), long lasting materials such as concrete, paving stones and interlocking bricks are acceptable. Crushed stone, shale, loose aggregate and asphalt are not acceptable materials for driveways and walkways.

Homes with a triple car garage will require a landscaped island to reduce the visual impact of the large concrete surface. Exposed Aggregates or stamped concrete will be accepted in place of a landscaped island.

Side drive garages may be permitted at the discretion of the Design Review Consultant if there is adequate lot width and proper turning radius provided on the driveway. All homes in The Vista are expected to have high level of architectural detailing and adequate massing.



3 car garage landscaped island detail.



4.1 PROPOSED HOUSING PRODUCT

The proposed housing products will be bi-levels, bungalows and two storey homes with a minimum double front attached garage in Modern architectural styles. Except where zoning allows for rear garages or otherwise noted on the Neighborhood Plan.

No front parking pads will be permitted on lots designated with no attached garage.



4.2 MODERN ARCHITECTURE

The style is usually marked by horizontal lines, flat or hipped roofs with broad overhanging eaves, windows grouped in horizontal bands, integration with the landscape, solid construction, craftsmanship, and discipline in the use of ornament.

The typical modern style house plan has sweeping horizontal lines and wide open floor plans. Other common features of this style include overhanging eaves, rows of small windows, one-story projections and in many cases a central chimney.

Typical Design Elements

- Low-pitched hipped or flat roof (less common is gabled).
- Strong horizontal lines.
- Ribbons of windows, often casements, arranged in horizontal bands.
- Clerestory windows.
- Incorporate glazing on garage doors.
- Wide use of natural materials especially stone and wood.
- Use of Hardiboard siding, stucco and stone.
- Broad, overhanging eaves (usually boxed).
- Restrained ornamentation such as wide trim around windows and doors, or as bands under the eaves.
- Projecting or cantilevered wings.
- Integrated with landscape and environment.
- Open floor plan with free-flowing spaces (sometimes blurring the line between indoor and outdoor spaces).



Clerestory Windows



Horizontal Lines



Natural Materials

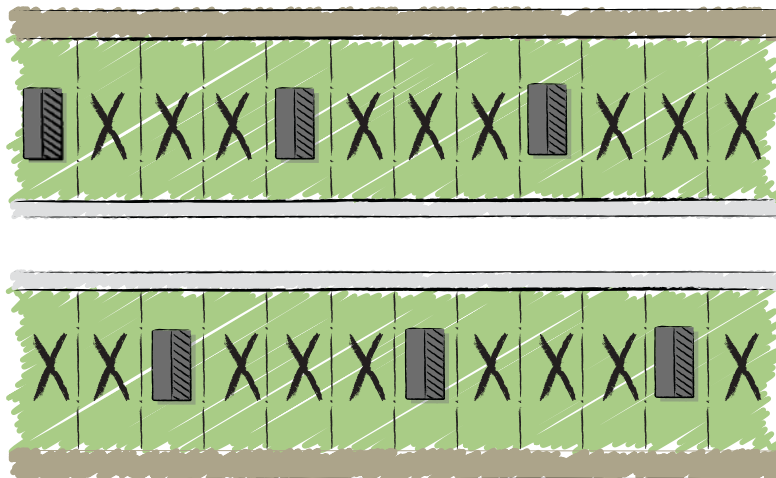
4.3 HOUSE REPETITION

Repetition of the architectural styles may be limited to ensure variation in the proposed streetscapes.

Identical or near identical elevations and exterior colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street. This may be altered at the discretion of the Design Review Consultant if it can be shown that the two elevations in question are located so as not to be visible together from any angle. While similar house plans and elevations are inevitable, it is possible to vary the design by changing exterior elements.

If it is felt that the adjacent houses are too similar the Design Review Consultant will request the applicant to make design changes. There must be a significant change in the features, such as roof type, size and location of windows and doors, colours, and finish material. A change of materials alone and reversing the plan is not sufficient.

House plans must be drawn as is, no reverse plans are acceptable. Drawings must reflect actual elevations for final approval.



4.4 CORNER LOTS

Corner lots require more attention to detail. Bungalows or Bi-levels are preferred, however all models will be considered if the design is appropriate. Side elevations facing the street, pathways / walkways on all types of homes require similar details to that incorporated on the front of the home.

4.5 LOTS BACKING ON PUBLIC GREEN SPACE

Rear elevation of lots backing onto green space ie. parks, walking path etc., require the same level of Architectural detail as per the front elevation.

Pillars on decks over 4 feet oñ the ground, must have stone or incorporate an architectural treatment.

Break up elevations with variation in the rear plane wall. Rear detached garages are not permitted on lots backing onto parks or public space.

4.6 WALKOUT LOTS

Two or three storey full height flat elevations on lots with walkout basements will not be acceptable. The use of architectural styles such as down hill sloping roofs in combination with dormers, decks, variations in the rear wall planes, retaining walls, and grading should be incorporated to break up the elevation.



4.7 ROOF DESIGN AND PITCH

Modern Architectural style homes typically portray lower pitched rooflines. This helps give the home a unique style while still meeting all standards. A Maximum roof slope of 4:12 on the main roof element will be allowed on Modified bi-levels and two storeys. Roof slope of 6:12 will be acceptable on Bungalows.

Particular consideration as to color and material shall be given to the design and treatment of roofs as it must compliment with the Modern Architecture style. They will be subject for approval by the Design Review Consultant.

Asphalt shingles are preferred roofing material.



4.8 CHIMNEYS

Chimneys / flues visible from the street must be boxed in and finished with brick or stone. Boxed in chimneys should be prominent and look like a foundational material finish if used on the side of the house. Bumpouts on interior sideyards will not require treatment.



4.9 WINDOWS

The design pattern of windows is an important element of Modern Architecture.

There should be a sense of order and hierarchy to the configuration of the design. For example, larger windows for major rooms and smaller windows for minor spaces. Consideration should also be given to the privacy of adjacent lots and the oversight into other yards.

Modern homes shall include Clerestory windows (row of high windows) or rows of windows in a pattern; bringing in sunlight from the higher points of the house.



4.10 OVERHANGING EAVES

A significant element for The Vista theme will be the use of overhanging eaves. Overhanging eaves should extend out from the face of the building a minimum of 24 inches.



4.11 EXTERIOR LIGHTING

All exterior lighting fixtures should follow the character of the home and the community in reference to color, material and style. It should be used to increase the quality, security and visual appeal of the home.

Under mount (under eave) pot lights are the preferred style of lighting when visible from the street or a public space.



4.12 FRONT ENTRY AND EXTERIOR STAIRS

All homes are encourage to incorporate a prominent entry way into their designs to provide a more welcoming streetscape. Minimum 8-0 entryway is required. The distance between the front door and the front of the garage should not exceed 14 feet.

The underside of the entry way is to be screened in with appropriate and complementary material so that the underside is not visible. Stone, brick, paneling, board and batten or shake are permitted as skirting.

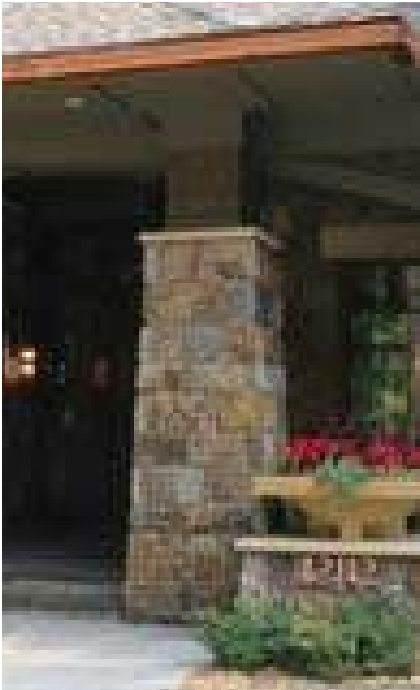
All homes built should have composite wood or concrete entrance steps.



4.13 COLUMNS

All posts / columns must be a minimum of 18 inches wide and incorporate an architectural finish material, ie. stone, stucco etc. See examples below.

Deck supports on homes backing onto a green space where the deck supports are greater than 4'-0" (four feet) in height, shall incorporate an architectural finish similar to the front elevation.



4.14 GARAGES

Homes in The Vista will require an attached double front drive garage as a minimum, except as noted on the neighborhood plan. The attached garage should reflect and complement the overall massing and proportion of the home and not dominate the streetscape.

If a triple car garage is used, at least one of the bays of the garage must be offset from the other bay. This offset should be a minimum of two feet and the roof line on this bay should be offset to provide articulation and to enhance the overall garage design.

The garage location will be noted on the Garage Location Plan, builders are to use the garage location as shown. If a side drive garage is chosen, the garage should be on the same side of the lot that was intended to be, so it does not impede the view from the front of the neighbouring homes.

Garages will generally be paired with the neighbouring homes unless noted otherwise on the garage location plan.

4.14.1 GARAGE PROJECTIONS

In order to reduce the visual impact of a front drive garage, close attention will be paid to the architectural design of the front elevation and the design of the front entryways. One method is to bring the front entryway or porch as far forward as possible, without adversely affecting the interior layout of the home.

It is encouraged that the wall between the garage door and the front entry not exceed 14 feet. This will make the garage look more like part of the design and not an addition to the home. When this distance is exceeded, the design must incorporate additional detailing in the roof lines, overhangs and side wall details.



4.15 LIVING AREA OVER GARAGE

Living area over the garage will be encouraged. Designers should reduce the visual impact of the bonus room through the use of rooflines and battens.



5.1 PRIMARY WALL MATERIALS

Premium vinyl siding will be the minimum standard in The Vista on Collector roads. Composite siding and stucco in a smooth finish will be approved and considered an upgrade finish. Any alternate exterior cladding materials need to be submitted for review. Homes with no attached garage, standard color siding will be accepted with significant amount of architectural detail be incorporated on front elevation.

5.2 SECONDARY WALL MATERIALS

Secondary wall materials or colours are required on the front elevation of every home and may consist of board and batten, composite panel, cedar or composite shakes and smooth stucco finish. Composite siding in a smaller profile or alternate colour would also be approved as a secondary wall material.

5.3 MASONRY

The use of masonry is required on all homes in The Vista and should be used in portions reflecting structural integrity. There will be no minimum amount of stone or brick required but the placement of material must ground the home and act as a structural element. No floating stone will be allowed. All stone veneers should be wrapped a minimum of 24 inches with no single faced masonry elements.



5.4 WINDOW, TRIM , FASCIA & SOFFITS

Designers are asked to put a great deal of effort into the trim detailing on each design.

- Trim shall be composite material such as as Smartboard or an approved equal and is required on all openings on all visible elevations.
- Eavestrough colours are to match the fascia colour.
- Horizontal bands and reveals will be encourage.



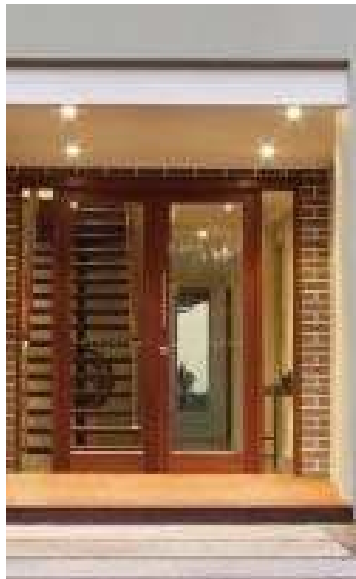
5.5 ROOFING

The roof material for all homes is to be premium architectural asphalt shingles. Metal roofing with a shingle profile will be permitted. No wood shakes will be allowed. All roof stacks must be enclosed and finished to compliment the roof colour and exterior finish detail.



5.6 ENTRY DOORS

- Entry doors are to compliment the architectural style of the home and should stand as a primary element of the front elevation. A standard 6 panel door will not be permitted.
- Entry doors should have glazing and/or sidelights and/or transom windows. Upgraded fiberglass doors with a natural appearance or a real wood door will be permitted at the discretion of the Design Review Consultant and may be approved without the requirement of glazing.
- Entry door style must be shown on plans.



5.7 GARAGE DOORS

- Garage doors should reflect the style of the home, with vertically proportioned panels and raised trim. Garage doors are not to exceed 9 feet in height and 20 feet in width unless authorized by the Architectural Design Review Consultant.
- Garage door details must be shown on plans.
- Additional space above the garage door to the eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.
- The same garage door style will not be permitted to be side by side, there must be at least one house separation.



5.8 RAILING

Front entry ways and rear decks should have railings in a style to match the architectural theme. Pressure treated railing is not permitted on front porches.

5.9 FRONT STEPS

Front steps are to be constructed of concrete, and are to match the driveway and sidewalk. Pre-cast concrete or composite wood steps will be permitted.



5.10 EXTERIOR COLOURS

Colours on the exterior of the home need to be consistent with the architectural theme of the home. The Design Review Consultant must approve all exterior colour schemes.

In order to achieve an aesthetically pleasing streetscape, not all colors of siding will be permitted, and contrast between adjacent homes is encouraged. Refer to **Appendix A** for a list of permitted colours.

Each home is permitted to have one secondary colour that is complementary to the main body colour of the home. If a secondary colour is desired, a dark bold colour is preferred in order to provide a high contrast with the main body colour of the home.

- Garage doors should match the main body colour or trim colour or both.

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While not required, Melcor Developments encourages all builders to follow Built Green principles:

- Builders are encouraged to build to a minimum Built Green Certification level of Bronze.
- Homes built should utilize Energy Star materials and products whenever possible.
- Homes should use low-flow toilets and water conserving faucets.
- Architectural planning and design should take full advantage of energy efficiency (i.e. natural heating and/or cooling, sun and wind exposure, solar energy properties, etc.)



6. BUILT GREEN GUIDELINES

7. APPROVAL PROCEDURE

7.1 SUBMISSION REQUIREMENTS

Builders are required to submit documentation to the Design Review Consultant to review and approve. The Design Review Consultant reserves the right to make exceptions to these guidelines where it is considered appropriate.

Builders may provide details for alternative patterns / details that match the intent of the Controls.

If desired, Melcor Developments can provide preliminary comments on the plans before the formal submission.

Applications are required to include the following documents:

Option A (Hard copy submittal):

1. Two (2) copies of the Architectural Design Review Application Form.
2. Two (2) sets of house plans delineating:
 - Exterior Building Elevations - Views of all typical building surfaces must show architectural detailing, materials, colors, finishes and any other visible features.
 - Elevations shall indicate proposed grade lines and be at a working scale.
3. Building Floor Plans - All floor plans shall show room, window and door locations.
4. Site plans must show front, rear, side setbacks, driveway location and dimensions.
5. Manufacturer and color finish of all exterior materials shall be listed on the application form.

Option B (PDF submittal):

1. Architectural Design Review Application Form.
2. House plans delineating - **As stated above.**
3. Building Floor Plans - **As stated above.**
4. Site Plan - **As stated above.**
5. Manufacturer and color finish of all exterior materials shall be listed on the application form.

7.2 SITE INSPECTION BEFORE CONSTRUCTION

Before the construction, every owner/builder must inspect the condition of the local infrastructure installed by the Developer (including sewers, curbs, sidewalks, roads, street lights, fencing, etc.) in order to determine if any damage has occurred. Warn in writing of any damage immediately, otherwise, the costs of the repair of damages will be the responsibility of the builder.

8.1 MATERIAL & EQUIPMENT STORAGE

- Builders will be allowed to store their materials and equipment on site during construction, but may not store on adjacent or any other home site.
- All material must be stored in an organized manner and must be covered to ensure site cleanliness.
- Builders must ensure that they do not trespass or disturb any other properties.
- Concrete trucks may only clean chutes on the lot they are delivering to.

8.2 USE OF SITE

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- The contractor shall be responsible for controlling dust and noise in the construction site.
- If any damage is done to other properties, open space, roads, driveways etc., it must be repaired and restored immediately at the expense of the person causing the damage.
- Upon completion of construction, each Builder shall clean the construction site and repair any damaged property including, but not limited to, restoring grades, repairing streets, driveways, pathways, drains, culverts, ditches, signs, lighting, landscaping and related watering systems, fencing, and other improvements or utilities.
- The builder shall take all necessary measures to prevent tracking of sediment and mud onto the public right-of-way. The builder is required to clean any sediment and mud on the right-of-way in front of their lot after everyday.

8.3 VEHICLES AND PARKING

- Utility trailers, etc. may be parked on site only during the time of construction. These are parked at risk of the builders.
- Vehicles shall be parked so as not to damage any landscaped and/or constructed areas.

8.4 OTHER

- Erosion control is the responsibility of the Builder until construction is complete and landscaping is well established.
- Builders are to ensure that sites are only accessed via provided entries.

9. DISCRETION

9. DISCRETION

Notwithstanding anything set out in these guidelines, the Developer Melcor Development Ltd. and the Design Review Consultant may apply their respective judgements when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Design Review Consultant may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

9.1 NO RIGHT TO ENFORCE

Only the Developer may enforce the guidelines. No purchaser of a lot in The Vista may enforce these guidelines.

9.2 RIGHT TO AMEND

The Developer may amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

APPROVED PRIMARY SIDING COLOURS

Gentek – Sequoia Select (Deep Jewel Tones)

- Venetian Red
- Harvest Wheat
- Dark Drift
- Saddle Brown
- Moonlite Moss
- Midnight Surf
- Windswept Smoke

Gentek – Accord (Lighter Color Tones)

- Wicker
- Dover Gray
- Sage
- Storm

Royal / Monarch – Colorscapes Palette (Deep Jewel Tones)

- Pebble Clay
- Cypress
- Walnut
- Olivewood
- Natural Cedar
- Granite
- Shamrock
- Heritage Blue
- Midnight Surf
- Rustic Red
- Ironstone
- Wedgewood
- Redwood
- Cocoa

Royal / Monarch – Colorscapes Palette (Lighter Color Tones)

- Flagstone
- Brownstone
- Harvard Slate



MODERN ARCHITECTURE DESIGN ELEMENTS CHECKLIST

(To be used as a guideline for home design)

- Low-pitched hipped or flat roof. For example:
 - I. Modified bi-level and 2-storeys – **Maximum** 4:12 pitch.
 - II. Bungalow and bi-level - **Maximum** 6: 12 pitch.
 - Strong horizontal lines.
 - The use of natural materials. For example: Stone and wood.
 - Row of windows arranged in horizontal bands and / or clerestory windows.
 - Accents materials of either Hardiboard siding, stucco, or stone.
 - Broad, overhanging eaves.
 - Incorporate Garage door style. Exact style and color to show on plans.
 - Incorporate front entry door style. Exact style and color to show on plans.
 - Wide use of natural materials especially stone and wood.
 - Projecting or cantilevered wings.
 - Incorporate minimum 8'-0" entryway. The distance between the front door and the front of the garage should not exceed 14 feet.
 - Integrated with landscape and environment.
 - Rear elevation of lots backing onto green space ie. parks, walking path etc., require the same level of Architectural detail as per the front elevation.
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