



Architectural Guidelines





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1. INTRODUCTION

Laredo is a master planned community located in Red Deer Alberta.

These Architectural Guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form and to promote an awareness of environmental sustainability. Home owners and designers are to use these Architectural Guidelines as a guide when planning their new home.

The Laredo Architectural Guidelines have been written in a definitive manner with multiple examples which will allow creativity and create harmony and continuity in home design within the community.

By utilizing two housing styles, Laredo will maintain interest and appeal. The approved architectural styles for the community will be the Classic and Modern Prairie Architectural Styles.

To ensure this document is understood and applied, Melcor Developments will assign a Design Review Consultant. This Consultant will need to approve all plans prior to construction. The purpose of a Design Review Consultant is to ensure a collaborative approach towards successful neighbourhood design and construction.

It is the responsibility of the Builder/Owner to become familiar with these guidelines and design their housing projects in accordance with them.

1.1 LOCATION PLAN

Laredo development is located in the Southeast corner of the City of Red Deer.





1.2 NEIGHBOURHOOD & FENCING PLAN

LEGEND

- Developer Installed Fencing
- Subdivision Fencing
- Low Density Residential (R1)
- Narrow Lot Residential (R1N)
- Semi-Detached Residential (R1A)
- Narrow Lot with Front Garage (R1G)
- Multi-Family Residential (R2/R3)
- Commercial (C3)
- Place of Worship (R1G)
- Roadway

6:12 ROOF PITCH ACCEPTED ON CLASSIC PRAIRIE
STYLE BI-LEVELS & BUNGALOWS
LOT 79 - LOT 110



2. GENERAL RULES

The Design Review Consultant will complete a review of all house plans to ensure compliance with the Architectural Guidelines. An approved plan will be provided by the Architectural reviewer on the elevation drawings and site plan upon final approval.

The builder must bring the approved plans when submitting for a development permit and building permit to the City of Red Deer.

All construction must comply with the current City of Red Deer Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a Building Permit from the City of Red Deer and Grade Slip form which is prepared by the Consulting Engineer. Conformity with the Guidelines does not supersede the required City of Red Deer approval process.



3.1 HOUSE PLACEMENT

Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize the lot space.

Designers should take into consideration the lot width, length and shapes as houses should be conforming to these dimensions. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot. Refer to setback plan and garage plan to ensure the front door is prominent and every house has visual appeal from the street.

3.2 HOUSE SIZE

R1 Lots- All houses shall have a minimum exterior width within 4'-0" (four feet) of the building pocket width for the lot. Where the width is not uniform between the front and the back of the lot, the garage is to be offset to meet this objective. No sideyard shall be greater than 7'-0".

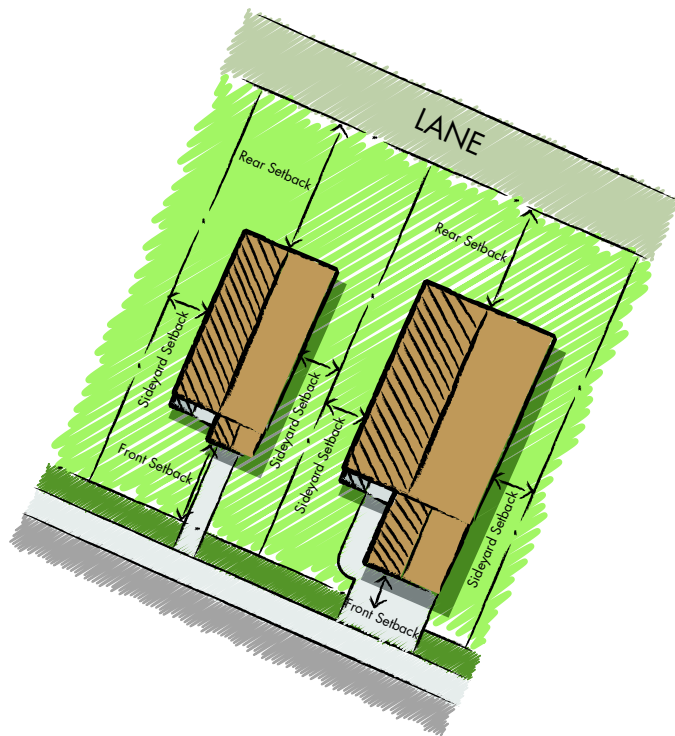
R1G Lots- All houses shall have a minimum exterior width within 4'-0" (four feet) of the building pocket width for the lot. Where the width is not uniform between the front and the back of the lot, the garage is to be offset to meet this objective.

R1N Lots- All houses shall have a minimum exterior width within 4'-0" (four feet) of the building pocket width for the lot. Where the width is not uniform between the front and the back of the lot, the garage is to be offset to meet this objective.

3.3 SETBACKS

Front/Rear Yards - Houses are to be sited in accordance with the Setback Plan provided by the Melcor Developments and approved by The City of Red Deer.

Side Yards - Owners/Builders are encouraged to make the best use of all open spaces within their property.



3.4 GRADES

Grade sheets for each lot are available and may be obtained from the Melcor Development office or from the Melcor website. Lot grading is to conform to the subdivision plan. Grades at the corners of the lots are not to be altered from those shown on the grading slips. Any costs incurred due to changes from the approved grade plan shall be the responsibility of the Owner/Builder. Corrections must be done with the completion of the house.

The landscaped grade of a lot should always slope away from the house; be integrated into the subdivision system of drainage; and not drain into the neighbouring lots.

The landscaped building grade must be as shown on the grade slip, however the Design Review Consultant reserves the right to approve adjustments.

3.5 LANDSCAPE & FENCING

Builders/Owners are encouraged to design homes to suit the shape and topography of the site. Development of the site through the use of landscape elements will address the need for privacy, shade and protection.

Landscaping for each home should support the theme of the Laredo community and be coherent.

All homeowners are required to complete the fencing and landscaping of their yards within 12 months of occupying the residence.

Melcor Developments will provide a white vinyl fence along homes that back onto open spaces and public areas. Refer to Marketing Plan for fence locations.

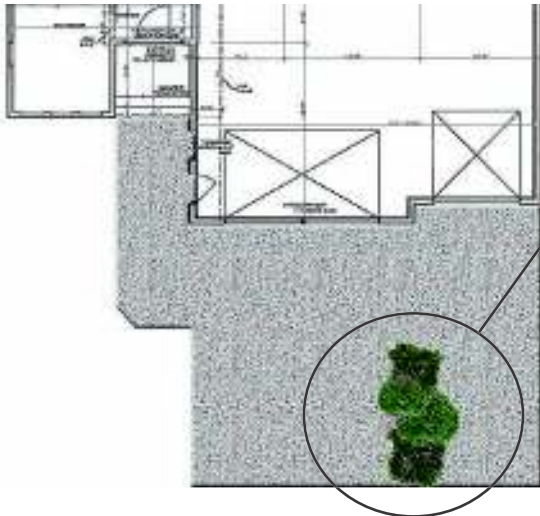


3.6 WALKWAYS & DRIVEWAYS

Minimal use of hard surfaces is encouraged, but where necessary (i.e. driveways, walkways, and patios), long lasting materials such as concrete, paving stones and interlocking bricks are acceptable. Crushed stone, shale, loose aggregate and asphalt are not acceptable materials for driveways and walkways.

Parking should be limited to the driveway only. The maximum driveway widths at the front property line shall not exceed 22'-0" feet. Where a triple car garage occurs, the site plan must show how the area of the driveway has been minimized.

Side drive garages may be permitted at the discretion of the Design Review Consultant if there is adequate lot width and proper turning radius provided on the driveway. All homes in Laredo are expected to have high level of architectural detailing and adequate massing.



3 car garage landscaped island detail.





4.1 PROPOSED HOUSING PRODUCT

The proposed housing products will be bi-levels, bungalows and two storey homes with a minimum double front attached garage in Classic and Modern Prairie architectural styles, with the exception where zoning allows for rear garages or otherwise noted on the Neighborhood plan.



4. ARCHITECTURAL DESIGN

4.2 ARCHITECTURAL STYLE

4.2.1 CLASSIC PRAIRIE

The predominant characteristic of the Classic Prairie style are high pitched roofs. Suggested roof slopes for bungalow and bi-level to be minimum 7 : 12 pitch. For modified bi-level and 2-storeys, minimum roof slope of 6:12 is acceptable.

The use of unenclosed eave overhangs, exposed rafter tails, dormers, chimneys, decorative beams under gables, and porches supported by square columns can be incorporated.

Siding and trim colours should be inspired by natural surroundings and should compliment the natural materials used on the home. A base is essential on columns for this style to ground the home and to add a presence of stability. Refer to Appendix B for Classic Prairie Checklist.

Typical Design Elements

- High-pitched roof, hipped, gabled.
- Broad eaves.
- Knee braces, exposed rafter tails and beams, elaborate rafter ends and verge boards.
- Natural materials indigenous to location (stone, brick).
- Dormers: shed, gabled, hipped, sometimes in combination.
- Full height chimney.
- Unique custom features such as inglenooks and window seats.
- Substantial covered porches.
- Windows, double-hung, multiple lights over single pane below.
- Multiple windows appear together. Casement windows are also seen.
- Shingle and lapped siding is common.



Knee braces



Verge boards



Inglenooks



Rafter ends

4.2.2 MODERN PRAIRIE

The style is usually marked by horizontal lines, flat or hipped roofs with broad overhanging eaves, windows grouped in horizontal bands, integration with the landscape, solid construction, craftsmanship, and discipline in the use of ornament.

Suggested roof slopes for Modern Prairie style bungalow and Bi-level homes, a maximum 5 :12 roof slope. For modified bi-levels and 2-storey maximum of 4 : 12 roof slope is acceptable. The typical modern prairie-style house plan has sweeping horizontal lines and wide open floor plans. Other common features of this style include overhanging eaves, rows of small windows, one-story projections and in many cases a central chimney.

Refer to Appendix B for Modern Prairie Checklist.

Typical Design Elements

- Low-pitched hipped or flat roof (less common is gabled).
- Projecting or cantilevered wings.
- Integrated with landscape and environment.
- Broad, overhanging eaves (usually boxed).
- Strong horizontal lines.
- Ribbons of windows, often casements, arranged in horizontal bands.
- Clerestory windows.
- Wide use of natural materials especially stone and wood.
- Hardiboard siding often stucco, stone, or brick.
- Restrained ornamentation such as wide trim around windows and doors, or as bands under the eaves.



Clerestory Windows



Horizontal Lines



Natural Materials

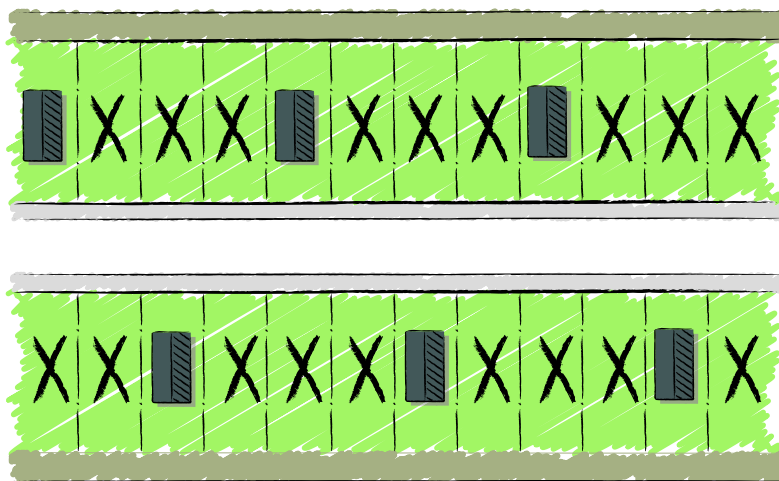
4.3 HOUSE REPETITION

Two architectural styles have been chosen to allow for the consumer to pick the home of their choice in a number of different front elevations provided by the builders. Repetition of the architectural styles may be limited to ensure enough variation in the proposed streetscapes.

Identical or near identical elevations and exterior colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street. This may be altered at the discretion of the Design Review Consultant if it can be shown that the two elevations in question are located so as not to be visible together from any angle. While similar house plans and elevations are inevitable, it is possible to vary the design by changing exterior elements.

If it is felt that the adjacent houses are too similar the Design Review Consultant will request the applicant to make design changes. There must be a significant change in the features, such as roof type, size and location of windows and doors, colours, and finish material. A change of materials alone and reversing the plan is not sufficient.

House plans must be drawn as is, no reverse plans are acceptable. Drawings must reflect actual elevations for final approval.



4.4 CORNER LOTS

Corner lots require more attention to detail. Bungalows or Bi-levels are preferred, however all models will be considered if the design is appropriate. Side elevations facing the street, pathways / walkways on all types of homes require similar details to that incorporated on the front of the home.

4.5 LOTS BACKING ON PUBLIC GREEN SPACE

Rear elevation of lots backing onto green space ie. parks, walking path etc., require the same level of Architectural detail as per the front elevation.

Architectural treatment on decks over 4 feet off the ground, large windows, trim around windows and doors, stone or a finished look on pillars as well as gable treatment if applicable.

Break up elevations with variation in the rear plane wall. Rear detached garages are not permitted on lots backing onto parks or public space.

4.6 WALKOUT LOTS

Two or three storey full height flat elevations on lots with walkout basements will not be acceptable. The use of architectural styles such as down hill sloping roofs in combination with dormers, decks, variations in the rear wall planes, retaining walls, and grading should be incorporated to break up the elevation.



4.7 ROOF DESIGN AND PITCH

Modern Prairie style homes typically portray lower pitched rooflines. This helps give the home a unique style while still meeting all runoff standards.

The use of a Hip Style roof is encouraged for the Modern Prairie home. (As shown on photos below).

Classic Prairie style homes typically portray higher roof pitched rooflines as the main roof structure. This helps give the home the distinctive look of verticality.

Particular consideration as to color and material shall be given to the design and treatment of roofs because of their visual impact.

Asphalt shingles should be the preferred roofing material.





4.8 GABLES DESIGN (CLASSIC PRAIRIE STYLE ONLY)

Gables with significant architectural detail are encouraged in Classic Style. Gable ends with additional detail help in breaking up large plain faces and create a more interesting facade.

Gable detail should always match the rest of the house design.

At least one of the following must be incorporated into gable ends on the front elevation: shadow boards, shingle shakes, false trusses, brackets, vertical siding, board & batten.



4.9 CHIMNEYS

Chimneys / flues visible from the street must be boxed in and finished with brick or stone. Boxed in chimneys should be prominent and look like a foundational material finish if used on the side of the house.





4.10 DORMERS (CLASSIC PRAIRIE STYLE ONLY)

Dormers are an excellent way to increase variety in the elevations of a house. This creates a more interesting and appealing street view of the home. To compliment the development theme, dormers should portray clean, straight lines. Steeper roof pitch will be allowed for dormers.

4.11 WINDOWS

The design pattern of windows is very important to the facade of the home. Windows should be sized and located according to the architectural styles listed in this document; the overall scale of the home; and the overall design of the home.

There should be a sense of order and hierarchy to the configuration of the design. For example, larger windows for major rooms and smaller windows for minor spaces. Consideration should also be given to the privacy of adjacent lots and the oversight into other yards.

Modern Prairie homes shall include Clerestory windows (row of high windows) or rows of windows in a pattern; bringing in sunlight from the higher points of the house.



4.12 OVERHANGING EAVES

A significant element for the Laredo theme will be the use of overhanging eaves. Overhanging eaves should typically extend out from the face of the building to a minimum of 24 inches. Owners/Builders are encouraged to include overhangs throughout the entire building where permitted by code.



4.13 EXTERIOR LIGHTING

All exterior lighting fixtures should follow the character of the home and the community in reference to color, material and style. It should be used in order to increase the quality, security and visual appeal of the home.

Classic style: Decorative look, have some character to lighting fixture.

Modern style: Under mount (under eave) pot light style. Clean lines.



4.14 FRONT PORCHES AND EXTERIOR STAIRS

All Homes are encourage to incorporate a front porch into their designs to provide a more welcoming streetscape. The use of a porch on a front attached garage home will also help reduce the distance from the garage face to the front entry. To ensure the functionality and correct massing a suggested minimum depth of 6 feet will be required for all porches.

A covered front entryway of a minimum 8 feet in depth can be incorporated into the home design where a porch is not feasible.

The underside of the porch is to be screened in with appropriate and complementary material so that the underside of the porch is not visible. Stone, brick, paneling, board and batten or shake are permitted as skirting.

All homes built should have composite wood or concrete entrance steps.

Porches must be an integral part of the house design and be a prominent element of the front elevation for houses with no front attached garage.



4.15 COLUMNS

All posts / columns must be a minimum of 18 inches wide and incorporate an architectural finish material, ie. stone, stucco etc. See examples below.

All lots backing onto a green space where the deck supports are greater than 4 feet in height shall incorporate an architectural finish similar to the front elevation.



4.16 GARAGES

Homes in Laredo will require an attached double front drive garage as a minimum, except as noted on the neighborhood plan. The attached garage should reflect and complement the overall massing and proportion of the home and not dominate the streetscape.

If a triple car garage is used, at least one of the bays of the garage must be offset from the other bays. This offset should be a minimum of two feet and the roof line on this bay should be offset to provide articulation and to enhance the overall garage design.

The garage location will be noted on the Garage Location Plan, builders are to use the garage location as shown. If a side drive garage is chosen, the garage should be on the same side of the lot that was intended to be, so it does not impede the view from the front of the neighbouring homes.

Garages will generally be paired with the neighbouring homes unless noted otherwise on the garage location plan.

4.16.1 GARAGE PROJECTIONS

In order to reduce the visual impact of a front drive garage, close attention will be paid to the architectural design of the front elevation and the design of the front entryways. One method is to bring the front entryway or porch as far forward as possible, without adversely affecting the interior layout of the home.

It is encouraged that the wall between the garage door and the front entry not exceed 14 feet. This will make the garage look more like part of the design and not an addition to the home. When this distance is exceeded, the design must incorporate additional detailing along the garage wall such as a window, batten detailing or masonry.



4.17 LIVING AREA OVER GARAGE

Living area over the garage or otherwise known as bonus rooms over garages will be encouraged in Laredo. Designers will be asked to reduce the visual impact of the bonus room through the use of rooflines and battens.



5.1 PRIMARY WALL MATERIALS

Premium vinyl siding will be the minimum standard in Laredo. Composite siding will be approved and considered an upgrade finish. Stucco in a smooth finish will be considered an upgrade and may be approved at the the discretion of the Design Review Consultant. Any alternate exterior cladding materials need to be submitted for review.

5.2 SECONDARY WALL MATERIALS

Secondary wall materials or colours are required on the front elevation of every home and may consist of board and batten, composite panel, cedar or composite shakes and smooth stucco finish. Composite siding in a smaller profile or alternate colour would also be approved as a secondary wall material.

5.3 MASONRY

The use of masonry will be required on all homes in Laredo and should be used in portions reflecting structural integrity. There will be no minimum amount of stone or brick required but the placement material must ground the home and act as a structural element. No Floating stone will be allowed.

All stone veneers should be wrapped a minimum of 24 inches with no single faced masonry elements.



5.4 WINDOW TRIM, FASCIA & SOFFITS

Designers are asked to put a great deal of effort into the trim detailing, specifically on the Classic Prairie style.

- Trim shall be composite material such as as Smartboard or an approved equal material and is required on all openings on all visible elevations.
- Trim must be a contrasting colour from the main body colour of the home, corner boards, shadow boards, columns, wood stair risers, fascias and soffits must all match the trim colour.
- Eavestrough colours are to match the fascia colour.
- Open soffit are permitted where detailing such as false trusses are incorporated in the design.
- Classic Prairie homes must have a minimum of 6 inches trim on at least 2 sides of windows and incorporate muntin bars.
- Trim on Modern Prairie style is not required.

Classic Prairie:



Modern Prairie:



5.5 ROOFING

The roof material for all homes is to be premium architectural asphalt shingles and composite products. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to compliment the roof colour and exterior finish detail.

5.6 ENTRY DOORS

- Entry doors are to compliment the architectural style of the home and should stand as a primary element of the front elevation. A standard panel door will not be permitted.
- Entry doors should have glazing and/or sidelights and/or transom windows. Upgraded fiberglass doors with a natural appearance or a real wood door will be permitted at the discretion of the Design Review Consultant and may be approved without the requirement of glazing.
- Entry door style must be shown on plans.



5.7 GARAGE DOORS

- Garage doors should reflect the style of the home, with vertically proportioned panels and raised trim. Garage doors are not to exceed 9 feet in height and 20 feet in width unless authorized by the Architectural Design Review Consultant. Garage door details must be shown on plans.
- Additional space above the garage door to the eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.
- The same garage door style will not be permitted to be side by side, there must be at least one house separation.

Modern Prairie Garage doors:



Classic Prairie Garage doors:



5.8 RAILING

Front porches and rear decks should have railings in a style to match the architectural theme. Pressure treated railing is not permitted on front porches.

5.9 FRONT STEPS

Front steps are to be constructed of concrete, and are to match the driveway and sidewalk. Pre-cast concrete or composite wood steps will be permitted.



5.10 EXTERIOR COLOURS

Colours on the exterior of the home need to be consistent with the architectural theme of the home. The Design Review Consultant must approve all exterior colour schemes.

In order to achieve an aesthetically pleasing streetscape, not all colors of siding will be permitted, and contrast between adjacent homes is encouraged. Refer to **Appendix A** for a list of permitted colours.

Each home is permitted to have one secondary colour that is complementary to the main body colour of the home. If a secondary colour is desired, a dark bold colour is preferred in order to provide a high contrast with the main body colour of the home.

- Garage doors should match the main body colour or trim colour or both.

6. BUILT GREEN GUIDELINES

While not required, Melcor Developments encourages all builders to follow Built Green principles:

- Builders are encouraged to build to a minimum Built Green Certification level of Bronze.
- Homes should utilize Energy Star materials and products whenever possible.
- Homes should use low-flow toilets and water conserving faucets.
- Architectural planning and design should take full advantage of energy efficiency (i.e. natural heating and/or cooling, sun and wind exposure, solar energy properties, etc.)



7.1 SUBMISSION REQUIREMENTS

Builders are required to submit documentation to the Design Review Consultant to review and approve. The Design Review Consultant reserves the right to make exceptions to these guidelines where it is considered appropriate.

Builders may provide details for alternative patterns that match the intent of the Controls.

If desired, Melcor Developments can provide preliminary comments on the plans before the formal submission.

Applications are required to include the following documents:

Option A (Hard copy submittal):

1. Two (2) copies of the Architectural Design Review Application Form.
2. Two (2) sets of house plans delineating:
 - Exterior Building Elevations - Views of all typical building surfaces must show architectural detailing, materials, colors, finishes and any other visible features.
 - Elevations shall indicate proposed grade lines and be at a working scale.
3. Building Floor Plans - All floor plans shall show room, window and door locations.
4. Site plans must show front, rear and side setbacks.
5. Manufacturer and color finish of all exterior materials shall be listed on the application form.

Option B (PDF submittal):

1. Architectural Design Review Application Form.
2. House plans delineating - **As stated above.**
3. Building Floor Plans - **As stated above.**
4. Site Plan - **As stated above.**
5. Manufacturer and color finish of all exterior materials shall be listed on the application form.

7.2 SITE INSPECTION BEFORE CONSTRUCTION

Before construction, every owner/builder must inspect the condition of the local infrastructure installed by the Developer (including sewers, curbs, sidewalks, roads, street lights, fencing, etc.) in order to determine if any damage has occurred. Warn in writing of any damage immediately, otherwise, the costs of the repair of damages will be the responsibility of the builder.

8. CONSTRUCTION REGULATIONS

8.1 MATERIAL & EQUIPMENT STORAGE

- Builders will be allowed to store their materials and equipment on site during construction, but may not store on adjacent or any other home site.
- All material must be stored in an organized manner and must be covered to ensure site cleanliness.
- Builders must ensure that they do not trespass or disturb any other properties.
- Concrete trucks may only clean chutes on the lot they are delivering to.

8.2 USE OF SITE

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- The contractor shall be responsible for controlling dust and noise in the construction site.
- If any damage is done to other properties, open space, roads, driveways etc., it must be repaired and restored immediately at the expense of the person causing the damage.
- Upon completion of construction, each Builder shall clean the construction site and repair any damaged property including, but not limited to, restoring grades, repairing streets, driveways, pathways, drains, culverts, ditches, signs, lighting, landscaping and related watering systems, fencing, and other improvements or utilities.
- The builder shall take all necessary measures to prevent tracking of sediment and mud onto the public right-of-way. The builder is required to clean any sediment and mud on the right-of-way in front of their lot after everyday.

8.3 VEHICLES AND PARKING

- Utility trailers, etc. may be parked on site only during the time of construction. These are parked at risk of the builders.
- Vehicles shall be parked so as not to damage any landscaped and/or constructed areas.

8.4 OTHER

- Erosion control is the responsibility of the Builder during construction.
 - Builders are to ensure that sites are only accessed via provided entries.
-

9. DISCRETION

Notwithstanding anything set out in these guidelines, the Developer, Melcor Development Ltd. and the Design Review Consultant may apply their respective judgments when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Design Review Consultant may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

9.1 NO RIGHT TO ENFORCE

Only the Developer may enforce the guidelines. No purchaser of a lot in Laredo may enforce these guidelines.

9.2 RIGHT TO AMEND

The Developer may amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

9. DISCRETION

APPROVED PRIMARY SIDING COLOURS

10. APPENDIX A

Gentek – Sequoia Select (Deep Jewel Tones)

- Venetian Red
- Harvest Wheat
- Dark Drift
- Saddle Brown
- Moonlite Moss
- Midnight Surf
- Windswept Smoke

Gentek – Accord (Lighter Color Tones)

- Wicker
- Dover Gray
- Sage
- Storm

Royal / Monarch – Colorscapes Palette (Deep Jewel Tones)

- Pebble Clay
- Cypress
- Walnut
- Olivewood
- Natural Cedar
- Granite
- Shamrock
- Heritage Blue
- Midnight Surf
- Rustic Red
- Ironstone
- Wedgewood
- Redwood
- Cocoa

Royal / Monarch – Colorscapes Palette (Lighter Color Tones)

- Flagstone
 - Brownstone
 - Harvard Slate
-

Classic Prairie Design Elements Checklist

Exterior

- High-pitched roof, hipped, gabled. For example:
 - Bungalow and bi-level - **Minimum** 7: 12 pitch.
 - Modified bi-level and 2-storeys - **Minimum** 6:12 pitch.
- Substantial covered porches.
- The use of natural materials. For example: Stone and brick.
- Row of windows, Casement windows.
- Shingle or lapped siding.
- Dormers: shed, gabled, hipped, sometimes in combination.
- Knee braces, exposed rafter tails and beams, and broad eaves.
- Incorporate Garage door style. Exact style and color to show on plans.
- Incorporate front entry door style. Exact style and color to show on plans.

Modern Prairie Design Elements Checklist

Exterior

- Low-pitched hipped or flat roof. For example:
 - Bungalow and bi-level - **Maximum** 5: 12 pitch.
 - Modified bi-level and 2-storeys – **Maximum** 4:12 pitch.
- Strong horizontal lines.
- The use of natural materials. For example: Stone and wood.
- Row of windows arranged in horizontal bands and / or clerestory windows.
- Accents materials of either Hardiboard siding, stucco, stone, or brick.
- Broad, overhanging eaves.
- Incorporate Garage door style. Exact style and color to show on plans.
- Incorporate front entry door style. Exact style and color to show on plans.

