



Oxford 
LANDING

Where life takes flight.

DRAFT - ARCHITECTURAL CONTROLS

Melcor Developments Ltd.
Architectural Controls
November 2014

MELCOR
DEVELOPMENTS LTD.

b&a
PLANNING GROUP



TABLE OF CONTENTS

1.0 INTRODUCTION	4
Conceptual Design Guidelines Objective	
Architectural Controls Objective	
2.0 GENERAL REQUIREMENTS	5
2.1 Design Compliance	
2.2 Site Inspection	
2.3 Cleanup	
3.0 GENERAL SITE GUIDELINES	6
3.1 Proposed Product	
3.2 House Style Repetition	
3.3 House Size	
3.4 House Placement	
3.5 Garage Locations	
3.6 Grades	
4.0 LAND USE BYLAW	8
5.0 SITE GUIDELINES FOR RESIDENTIAL LOTS	10
5.1 House Size	
5.2 Design and Materials	
5.3 Building Elevations and Detailing	
5.4 Garages and Driveways	

FIT Table of
Contents on one
page



TABLE OF CONTENTS & FIGURES

6.0 DESIGN AND MATERIALS	12
6.1 Primary Finish	
6.2 Building Elevations and Detailing	
6.3 Garages and Driveways	
6.4 Landscaping and Fencing	
7.0 DESIGN APPROVAL PROCESS	14
8.0 CONSTRUCTION REGULATIONS	15
9.0 BUILDER CHECKLIST	16



1.0 Introduction

1.1 OVERVIEW

Oxford Landing is envisioned to be a community with a unique small town character that values its military heritage and history. The design of Oxford Landing includes special amenity features that have been thoughtfully integrated into the neighbourhood layout to ensure the creation of a complete community. Oxford Landing will include single-family, semi-detached, and fee-simple homes, as well as street-fronting townhomes and manufactured homes. This diverse housing product will be located in a mix of starter and move-up housing areas. These residential areas are planned using a modified grid street pattern to create a well-connected transportation network.

1.2 CONCEPTUAL DESIGN GUIDELINES OBJECTIVE

The Oxford Landing Conceptual Design Brief document outlines the specifications for landscaping and urban design components for Melcor's Oxford Landing development in Penhold, AB (see Figure 1). Oxford Landing is planned as a complete residential community with the public realm sitting at the forefront of design considerations. Streetscapes, open space, and pathway linkages are mindfully designed to generate an environment that will make Oxford Landing the premiere destination in Penhold that people will want to call home.

The purpose of this document is to provide guidelines that will result in an attractive, consistent and recognizable built form for residential landscapes in Oxford Landing.

1.3 ARCHITECTURAL CONTROLS OBJECTIVE

The architectural controls in this document will specify the parameters for the design of low density and medium density residential housing in Oxford Landing.

It is the responsibility of the builder/owner to become familiar with these guidelines and design their housing projects in accordance with them.



2.0 General Requirements

2.1 DESIGN COMPLIANCE

Where required, guidelines for residential lots have been emphasized in their own sections in the following text. These guidelines are supplementary to the guidelines in the main section of the architectural controls. In addition to these guidelines, all building designs must comply with Town of Penhold land use by-laws and all applicable building code regulations. The Town of Penhold will not issue a building permit unless the building plans have been approved by Melcor first.

2.2 SITE INSPECTION

Each purchaser must inspect, prior to the commencement of construction, the condition of the local improvements provided by Melcor. These improvements include curb and gutter, sidewalks, roadways and lanes, streetlights, fire hydrants and standpipes. Written notice of any damage noted must be submitted at this time otherwise the cost of repairing any damage for same will be the sole responsibility of the purchaser.

2.3 CLEAN UP

Builders are required to keep the lot clean and orderly both prior to and during construction. All builders are encouraged to use onsite waste bins. Builders found negligent will be back charged for clean-up carried out by Melcor. Any general clean-up of the subdivision, including street sweeping and garbage pickup, can be charged pro-rata to all builders.

Builders must instruct subtrades to dispose of excess material appropriately. This applies particularly to concrete, excavation and landscaping material. Melcor will use its best efforts to provide dump locations for clean fill.

Damage to lanes caused by excavation spillage and topsoil overspread onto gravel areas continues to be a problem. Melcor will charge builders for costs to repair lanes where gravel has been admixed with clay. Please make every effort to contain basement excavation and topsoil within the boundaries of the lot.



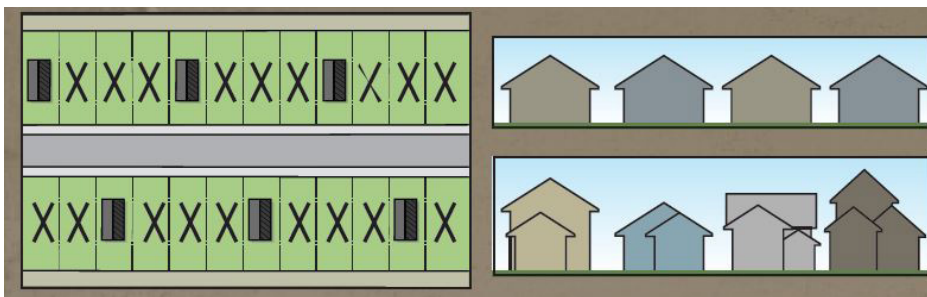
3.0 General Site Guidelines

3.1 PROPOSED PRODUCT

This document will form the architectural guidelines for R1A, R1B, R1, and R2 land uses within Oxford Landing. The architectural style for Oxford Landing will allow for the consumer to pick the home of their choice.

3.2 HOUSE STYLE REPETITION

There will be a limitation on repetition to ensure that there is variety in the proposed streetscapes of Oxford Landing. Designs with approximately identical front elevations should be separated by at least 3 lots on the same side of the street and will not be allowed within two lots across the street. Repetition in cul-de-sacs will be at the discretion of the Coordinator.



NO

Repetitive styles, colors and elevations

YES

Variety of styles, colors, and elevations

3.3 HOUSE SIZE

All houses shall have a minimum exterior width of the building pocket width for the lot.

3.4 HOUSE PLACEMENT

Houses on pie-shaped lots should be sited in a radiating pattern rather than parallel to an adjacent side property line. Where open setbacks are permitted, the house should not be sited deep in the lot to force a triple-car garage to fit on the lot. The Architectural Coordinator will request a revised plot plan if this principle is not adhered to.



3.5 GARAGE LOCATIONS

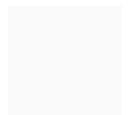
Garage locations are dictated by Melcor. Every attempt is made to pair driveways together and reduce the impact garages make on the streetscape. Triple-car garages will not be permitted on pie lots. Builders are encouraged to design tandem garage stalls if additional garage space is required.

Laneless lots backing onto open green space are unique and desirable because of the views allowed for by the interface with the park space. Melcor Developments will not approve garages to be constructed in the rear yards of these types of lots.

3.6 GRADES

Grade information is available for each lot and can be obtained from the Town or the Melcor office. Lot grading is to conform to the subdivision plan. Do not grade to existing vacant lots or undeveloped land. The landscaped grade must always slope away from the house and cannot drain into adjacent lots. Any costs incurred as a result of deviation from the plan will be borne by the builder responsible.

Builders are encouraged to review the grade and footing elevation information provided in detail, to determine if there are any constraints with respect to house type and drainage requirements. Under certain circumstances, a shallow LTF will impact the choice of house style. Consultations with our design Engineers may result in specific solutions to offer more options for certain lots. Builders are required to minimize the impact of their lot grading on adjacent lots and to follow the approved overland drainage parameters set out for each lot by the chosen consulting engineer.





4.0 Land Use Bylaw

All site design in Oxford Landing must conform to the Town of Penhold's Land Use Bylaw. The following setbacks, building heights, and lot coverage requirements must apply:

R1A SETBACKS

FRONT YARD: 6.0m

SIDE YARD: 1.5 m or 3.0m when abutting a street

BACK YARD: 10.0m

R2 SETBACKS

FRONT YARD: 6.0m

SIDE YARD: 1.5 m or 3.0m when abutting a street

BACK YARD: 10.0m

R1B AND R1 SETBACKS

FRONT YARD: 6.0m

SIDE YARD: 1.2 m or 3.0m when abutting a street

BACK YARD: 10.0m

MINIMUM WIDTH

R1A - 12.2m (40 feet)

R1B AND R1 - 9.2m (30 feet)

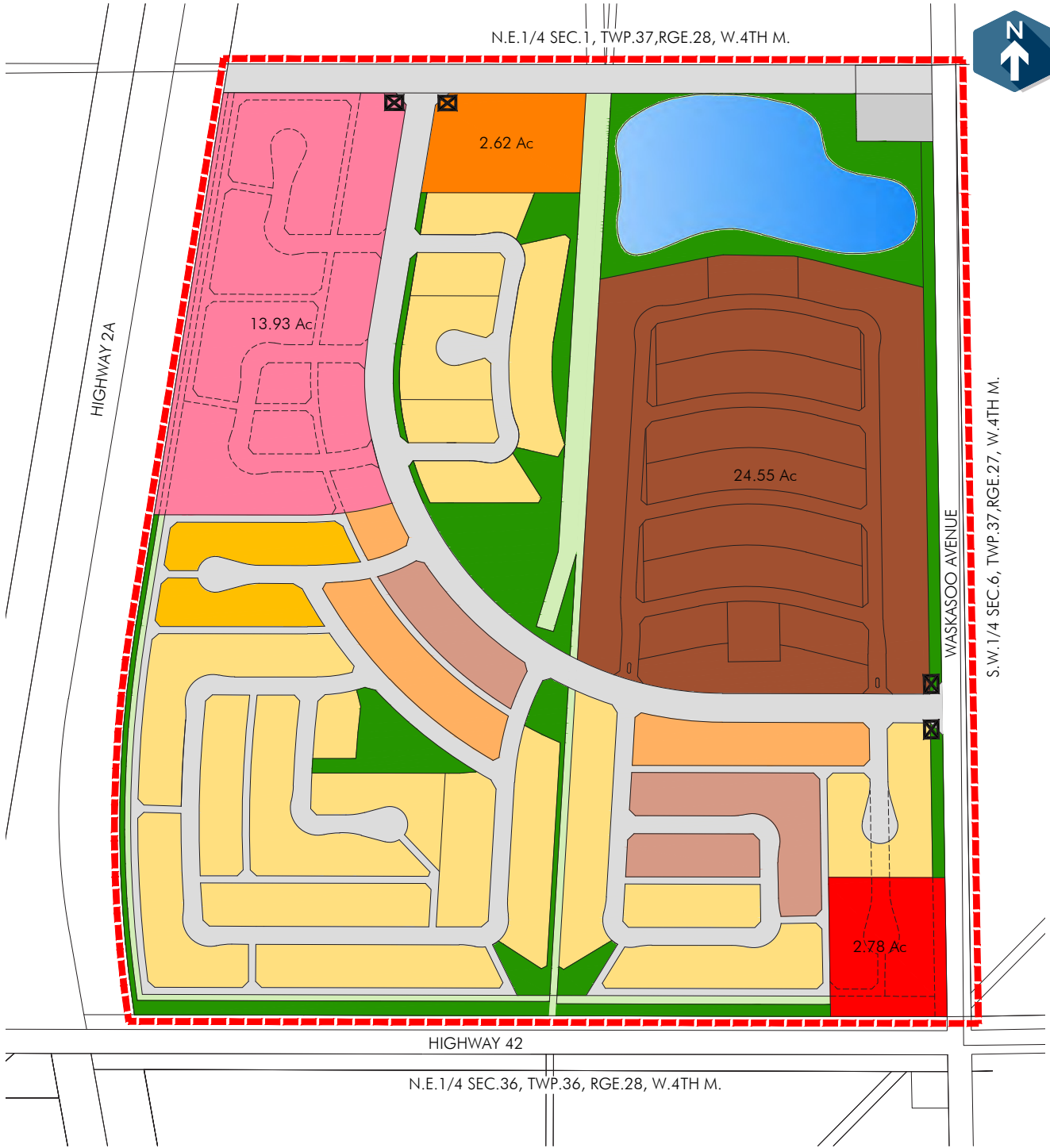
R2 - 15.5m (50 feet)

BUILDING HEIGHTS


















The maximum building height for all principal buildings will be 10 meters, excluding chimneys or other ancillary structures.

SITE COVERAGE

The maximum site coverage for all principal buildings on each of the above land uses will be 55%.



LEGEND

- | | | |
|--|---|---|
|  Low Density Small Lot Residential District - R1A |  General Commercial District - C1 |  Future Roadway ROW |
|  Low Density Narrow Lot Residential District - R1B |  Industrial/Business Service District - IB |  Community Amenity |
|  Low Density Narrow Garage Lot Residential District - R1C |  Municipal Reserve |  Potential Residential Development |
|  General Residential District - R2 |  Public Utility Lot |  Outline Plan Boundary |
|  Multiple Unit Residential District - R3 |  Outparcel |  Entry Feature Sign |
|  Manufactured Home Residential District - R5 |  Roadways/Lanes | |



5.0 Guidelines for Residential Lots

5.1 HOUSE SIZE

All houses shall have a minimum exterior width ~~from~~ the building pocket width for the lot. Where the width is not uniform between the front and back of the lot, the garage is to be offset to meet this objective. The minimum house plan width on a 38' lot would therefore be 26'.

5.2 DESIGN AND MATERIALS

Primary Finish

Vinyl Siding, stucco, brick, or stone will be allowed. All stucco must be complimented with stucco detailing & buildouts. A maximum of 30 inches will be allowed for concrete parging on the foundation. Builders are encouraged to contrast vinyl siding with trim of a different colour (preferably white).

The amount of brick or stone required on each home will depend on its presentation and location. Where brick or stone is included in the building elevation it should be substantial enough to represent a structural element. Substitutions will be permitted if the plan incorporates sufficient detail and curb appeal.

Floating masonry will not be allowed. If it is intended to be a foundation material, it must be connected to the ground. All masonry should be wrapped a minimum of 16". The masonry component intended must be shown accurately on the plans submitted for approval. Good construction practices should be used to protect masonry from the moisture in the ground.



5.3 BUILDING ELEVATIONS & DETAILING

The objective of having a high standard of visual appeal will be achieved primarily through the addition of sufficient architectural detail on the homes:

- All windows and doors on high visibility facades, and houses backing on to collector roads, must have a minimum of 4" trim on all visible sides.
- Front facades must have a variation of elevations to add visual interest.
- Additional trim and design features to consider could include; columns, pillars, fan windows, scales, keystones, porches/verandas, louvers, bay/box windows, turrets, rafters, ladders, use of two colours.
- All chimneys/flues visible from the street must be boxed in and finished with brick, stone, or the same material as the house.
- Large areas of vinyl siding must be broken up with additional detailing.

5.4 GARAGES AND DRIVEWAYS

Large gables above the garage door will require additional detail to match the rest of the house.

Garages are to be located according to the established garage plan available from the Melcor office.

The prominence of attached garages should be minimized by limiting the distance between the front of the garage and the entry to the house to 4 metres or incorporating architectural detail into the garage wall.

Builders are also encouraged to build out over the garage on two storey models to reduce the prominence of the garage.



6.0 Design and Materials

6.1 PRIMARY FINISH

To encourage rich colour contrasts along the streetscape, all exterior colour schemes will be approved on a lot by lot basis. When approving colours, the Architectural Coordinator will consider the overall look and design of the home with respect to the adjacent homes and reserves the right to request changes as required. When submitting plans for approval, exact colour choices must be provided with the manufacturer and colour name.

Houses with nearly identical colours may not be repeated more often than every 4th home on the same side of the street and every 3rd home on the opposite side of the street.

6.2 BUILDING ELEVATIONS & DETAILING

Front doors must be covered with a minimum of 4 feet of roof or overhang. To increase the perceived spacing between houses, eaves may be reduced to 16 inches.

Masonry is still the preferred accent trim material, except where the front elevation does not allow the reasonable use of brick or stone. At least two other distinguishing details must be provided to enrich the streetscape.

Here are some examples of acceptable details for the Oxford Landing residential dwellings:

- Upgraded garage door (panelled, painted to match trim, carriage doors, window panel, etc.).
- Window detailing (shutters, window boxes, eyebrow or fan windows, etc.).
- Gable treatments (shakes/shingles, shadow boards, false trusses, brackets, vertical siding, board & batten, etc.).
- Front steps shall be constructed of concrete. Alternate materials may be approved for the front steps at the discretion of the Architectural Coordinator if they represent an improvement over concrete or where the design of the house requires a custom build.



6.3 GARAGES AND DRIVEWAYS

- Garage doors must have vertically proportioned panels and raised trim. Approved garage doors include Steel-craft “Carriage Craft”, “Esteem”, and “Elite” series, Amarr “Classica”, “Designer’s Choice” series, or equivalent. If you are requesting an alternative choice, we encourage builders to have their garage doors pre-approved by the Architectural Coordinator.
- Garage doors are not to exceed 9 feet.
- Driveways on adjacent lots with paired garages shall not be permitted to be hard surfaced to the property line. Landscaping is required to break the driveways up.

6.4 LANDSCAPING AND FENCING

Melcor will provide landscaping assistance in the form of trees (please see the Oxford Landing Conceptual Design Report for the Residential Developer Program Tree Descriptions). The details of the program can be obtained from the Melcor office.

Only lots selected by Melcor will have a fence and gate installed by Melcor along the rear property. Specific lots that back onto parks and green spaces will be identified at the time of sale. All homeowners are encouraged to complete the fencing and landscaping of their lot within 12 months of the completion of the home. The fence style recommended is a 6’ 0” (1.8 m) privacy vinyl fence in white to complement the house. Please see the Oxford Landing Conceptual Design Brief for more information.

Vinyl Privacy Fencing

Vinyl Privacy Fencing is intended to provide privacy to homeowners and screen private space from the street.

The style, material, colour, and construction of this fence is specified in the Oxford Landing Architectural Controls guideline document.



Semi-Private Vinyl Fencing

A white vinyl fence will be installed along homes that back onto open spaces and public areas. The fencing is supported by custom posts that mimic the architecture styling and colour palette found throughout the neighbourhood. The colours of the posts will be consistent throughout the community to reinforce the Oxford Landing Community brand.





7.0 Design Approval Process

7.1 PRELIMINARY REVIEW

If desired, Melcor will provide preliminary comments on building plans prior to the formal submission. This provides the opportunity to ensure that the intent of the guidelines is being followed and can help avoid delays.

To achieve the desired look in Oxford Landing, designers and builders are encouraged, but not required to, create and provide preliminary renderings or sketches of elevations to the Architectural Coordinator for preliminary review. A preliminary review of the placement of homes on the home site is highly recommended to ensure compatibility with neighbouring homes.

Prior to making application for a building permit the builder shall submit the plan for approval to:

Melcor Developments Ltd.
#502, 4901 – 48th Street
Red Deer, Alberta
T4N 6M4

The house plan approval submission shall include:

- a completed application with selected colours & materials.
- sets of building plans and elevations showing the full detail and trim proposed.
- a plot plan showing all setbacks.
- security deposit of \$2,000 payable to Melcor developments if not already paid.

Note – All plans will be reviewed in terms of their adherence to these guidelines and the objectives of the community. Melcor Developments reserves the right to make exceptions to these guidelines where deemed appropriate. Individual concerns will be adjudicated by Melcor Developments and their decision will be final.

7.2 NON-COMPLIANCE

In the event of a violation of any one or more of the above Architectural Controls, the builder may be required to correct the deficiency. If the deficiency meets all of the requirements of the Oxford Landing Conceptual Design Report, the developer and the Town of Penhold may give final approval of the home.



8.0 Construction Regulations

8.1 STORAGE OF MATERIALS

- Builders will be allowed to store their materials and equipment on site during construction but may not store anything on any other home sites.
- Items stored will have to be stored in an organized and covered manor to ensure site cleanliness.
- Builders must ensure that they do not trespass or disturb any other properties.
- Cleaning of paint, solvents, stains, etc will not be permitted on site.
- Concrete trucks may not clean chutes anywhere on site.

8.2 USE OF SITE

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the charged to the responsible builder.
- Should a site not be maintained as these guidelines document, the developer reserves the right to rectify any deficiencies at the cost of the responsible builder.

8.3 SANITARY FACILITIES

Temporary sanitary services are to be provided on site by each builder for their construction crews to use in compliance with the Public Health Act of Alberta.

8.4 RESTORATION AND REPAIR OF DAMAGED PROPERTY

Builders are asked to inspect there lot prior to construction to check for any damages to the lot. Any damages must be documented and reported to the developer prior to excavation. If the developer or the agents notice any damages to the soft or hard landscaping including a fence, sidewalk, street or walk-way and no report was filed then the builders will take responsibly for the cost of all damages.

8.5 GENERAL PRACTICES

Vegetation material, top soil, or similar materials may not be dumped on site at any time. Erosion control will be the responsibility of the builder during construction.



9.0 Builder Checklist

MANDATORY BUILDER REQUIREMENTS

<input type="checkbox"/>	1.	Two (2) copies of the Architectural Design Review Application form.
<input type="checkbox"/>	2.	Two (2) sets of house plans delineating: <ul style="list-style-type: none">• Exterior building elevations (views of all typical building surfaces must show architectural detailing, materials, colors, finishes, and any other visible features).
<input type="checkbox"/>	3.	Building Floor Plans (all floor plans shall show room, window, and door locations).
<input type="checkbox"/>	4.	Site plans must show front, rear, and side setbacks, as well as driveway locations and dimensions.
<input type="checkbox"/>	5.	Manufacturer and color finish of all exterior materials shall be listed in the application form.
<input type="checkbox"/>	6.	Submit Formal Application Submission



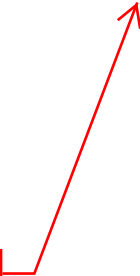
Builder Checklist

~~MATERIALS LIST~~

1. Gentek - Sequoia Select
2. Venetian Red
3. Harvest Wheat
4. Dark Drift
5. Saddle Brown
6. Moonlit Moss
7. Midnight Surf
8. Windswept Smoke
9. Gentek - Concord
10. Pebble
11. Sage
12. Storm
13. Royal/Monarch - Colorsapes
14. Charcoal Grey

15. Rustic Red
16. Natural Cedar
17. Olivewood
18. Walnut
19. Granite
20. Shamrock
21. Ironstone
22. Wedgewood
23. Cocoa
24. Redwood
25. Pebble Clay
26. Cyprus
27. Harvard Slate

MAKE THREE
COLUMNS - ONE
EACH FOR THREE
TYPES OF SIDING





Oxford 
LANDING

Where life takes flight.

DRAFT - ARCHITECTURAL CONTROLS

Melcor Developments Ltd.
Architectural Controls
November 2014