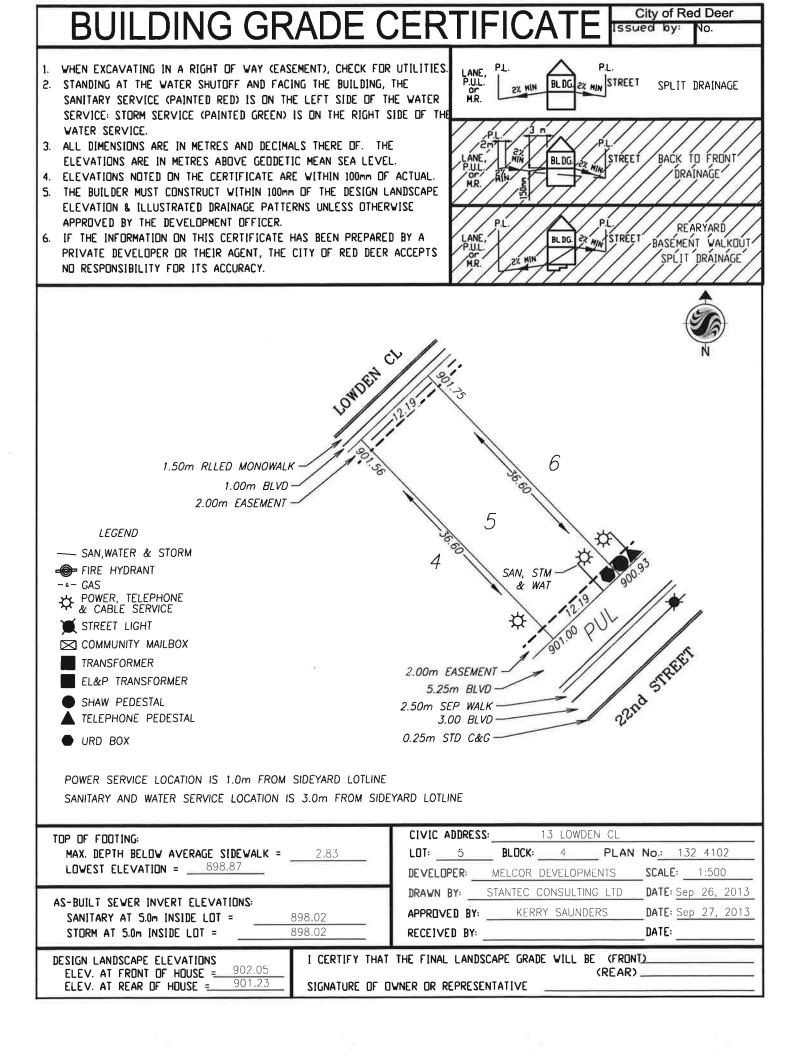


BUILDING GRADE C	ERTIFICATE City of Red Deer
 WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, TO SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SI WATER SERVICE. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LATE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWAPPROVED BY THE DEVELOPMENT OFFICER. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER NO RESPONSIBILITY FOR ITS ACCURACY. 	E WATER IDE OF THE PUL. 2X MIN BLDG 22 MIN STREET SPLIT DRAINAGE BLDG 22 MIN STREET SPLIT DRAINAGE PL. STREET BACK TO FRONT DRAINAGE DRAINAGE BLDG 22 MIN STREET BACK TO FRONT DRAINAGE PL. PL. REARYARD BLDG 22 MIN STREET BASEMENT WALKDUT
● SHAW PEDESTAL ★ TELEPHONE PEDESTAL 2.50 ■ URD BOX	SAN, STIM & WAT S.25m BLVD m SEP WALK 3.00 BLVD 5m STD C&G WARD LOTLINE
TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.42 LOWEST ELEVATION = 898.87	CIVIC ADDRESS: 5 LOWDEN CL LOT: 3 BLOCK: 4 PLAN No.: 132 4102 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 898.02 STORM AT 5.0m INSIDE LOT = 898.02	DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 RECEIVED BY: DATE:
ELEV. AT FRONT OF HOUSE = 901.68	THE FINAL LANDSCAPE GRADE WILL BE (FRONT) (REAR) WHER OR REPRESENTATIVE

 WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT S WATER SERVICE. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LA ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERS APPROVED BY THE DEVELOPMENT OFFICER. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER NO RESPONSIBILITY FOR ITS ACCURACY. 	THE OF THE REARYARD ACTUAL. ANDSCAPE WISE BLDG 22 MIN STREET SPLIT DRAINAGE BLDG 22 MIN STREET BACK TO FRONT DRAINAGE ARBORATION STREET BACK TO FRONT DRAINAGE BLDG 22 MIN STREET BACK TO FRONT DRAINAGE BLDG 22 MIN STREET BASEMENT WALKOUT					
A TELEPHONE PEDESTAL	SAN, STM & WAT A W					
TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK =2.60 LOWEST ELEVATION =898.87	CIVIC ADDRESS: 9 LOWDEN CL LOT: 4 BLOCK: 4 PLAN No.: 132 4102 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500					
AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 898.02 STORM AT 5.0m INSIDE LOT = 898.02	DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 RECEIVED BY: DATE:					
DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 901.86 ELEV. AT REAR OF HOUSE = 901.30 SIGNATURE OF OWNER OR REPRESENTATIVE CERTIFY THAT THE FINAL LANDSCAPE GRADE VILL BE (FRONT) (REAR) (REAR) (REAR)						

BUILDING GRADE CERTIFICATE | City of Red Deer



BUILDING GRADE CERTIFICATE Stated by: City of Red Deer LANE, P.L. P.U.L. or M.R. 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE BLDG. 2% MIN STREET SPLIT DRAINAGE 5% WIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE MIN ŞTŔĘEŤ BAĆK ÍO FRONT ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /ĎŖAÍNAĞE′ 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. M.R. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD LANE, P.U.L. or M.R. PY MIN STREET 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG. /BÁSÉMENT WALKOÚT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPĹIT DRÁINÁGE NO RESPONSIBILITY FOR ITS ACCURACY. 1.50m RLLED MONOWALK 1.00m BLVD -2.00m EASEMENT -LEGEND - SAN, WATER & STORM SAN, STM FIRE HYDRANT & WAT -G- GAS → POWER, TELEPHONE & CABLE SERVICE STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL 2.00m EASEMENT ▲ TELEPHONE PEDESTAL 5.25m BLVD 2.50m SEP WALK URD BOX 3.00 BLVD 0.25m STD C&G POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) 17 LOWDEN CL CIVIC ADDRESS: TOP OF FOOTING: LOT: ___6 BLOCK: ___4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.97 LOWEST ELEVATION = 898.87 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500

TOP OF FOOTING:

MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.97

LOWEST ELEVATION = 898.87

AS-BUILT SEWER INVERT ELEVATIONS:
SANITARY AT 5.0m INSIDE LOT = 898.02

STORM AT 5.0m INSIDE LOT = 898.02

DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500

DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013

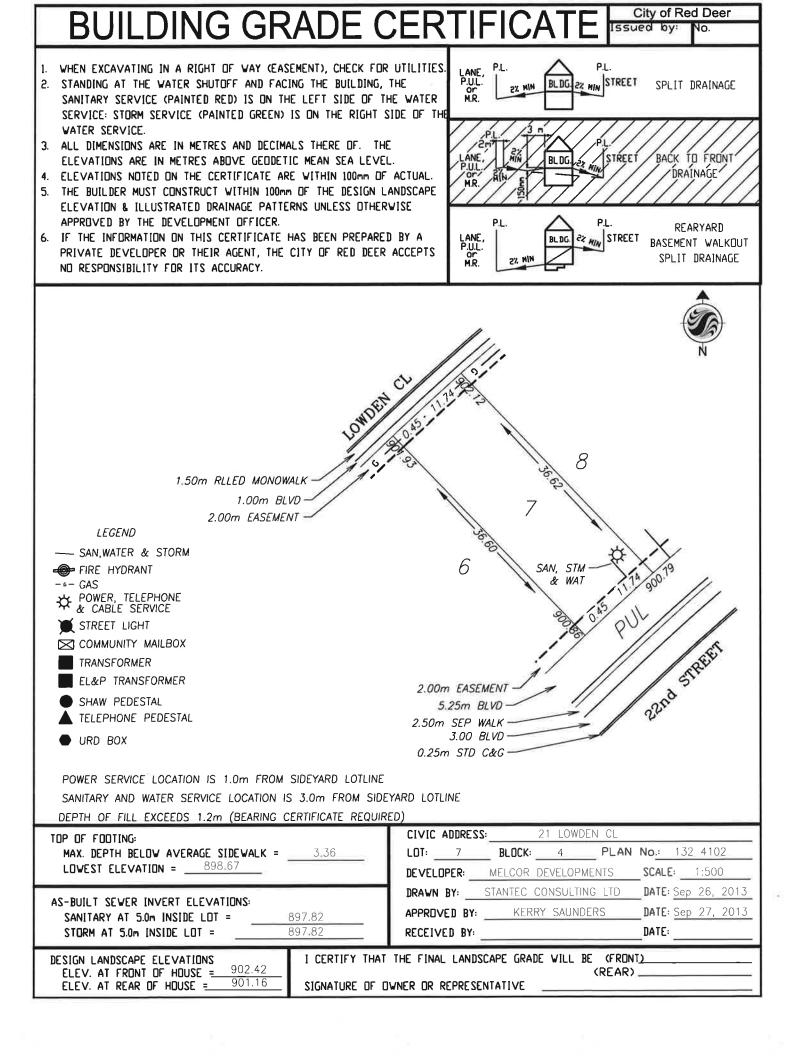
APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013

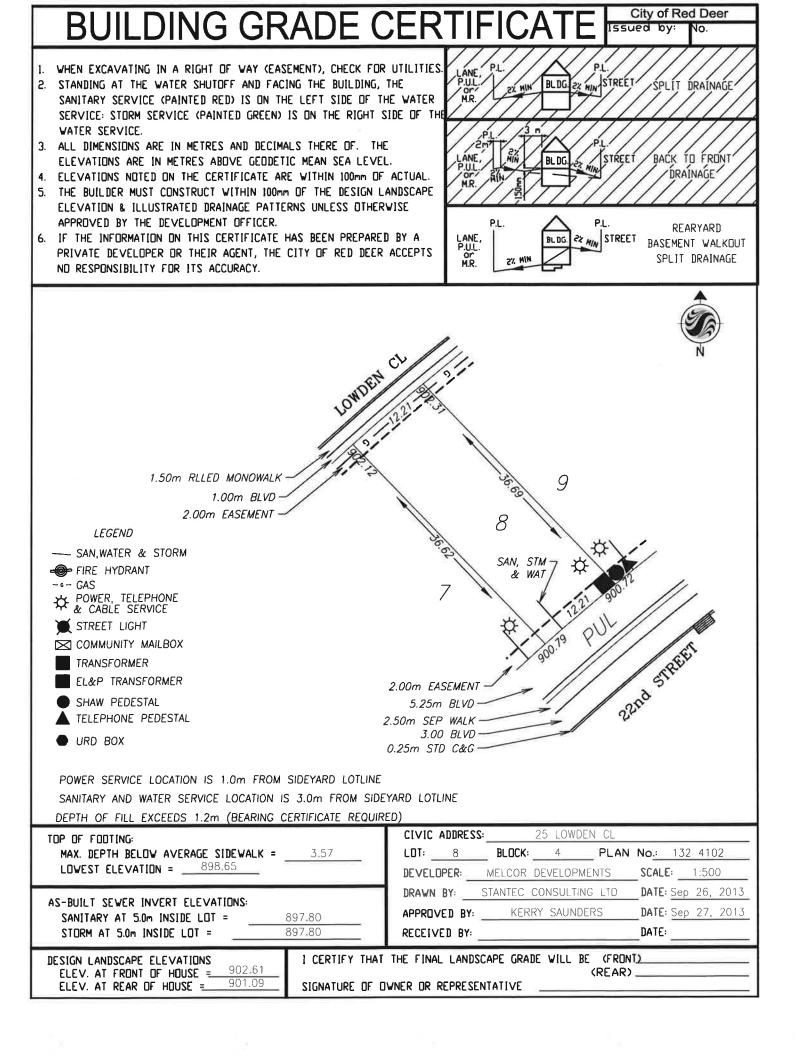
RECEIVED BY: DATE: Sep 27, 2013

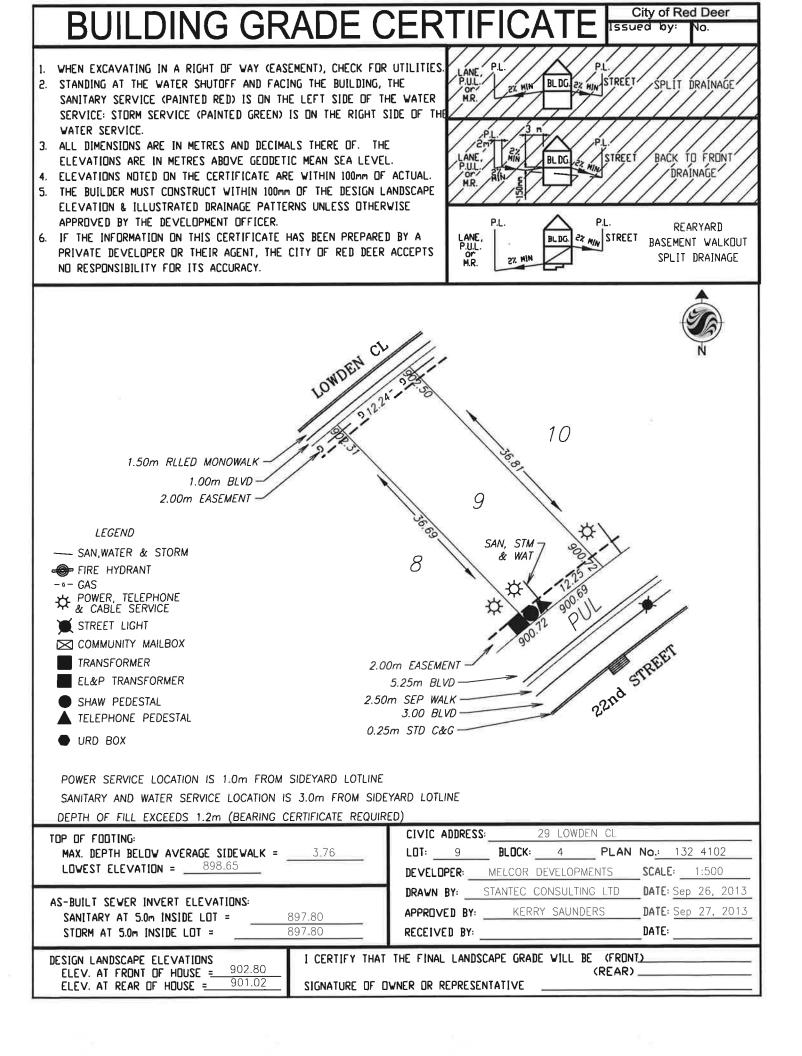
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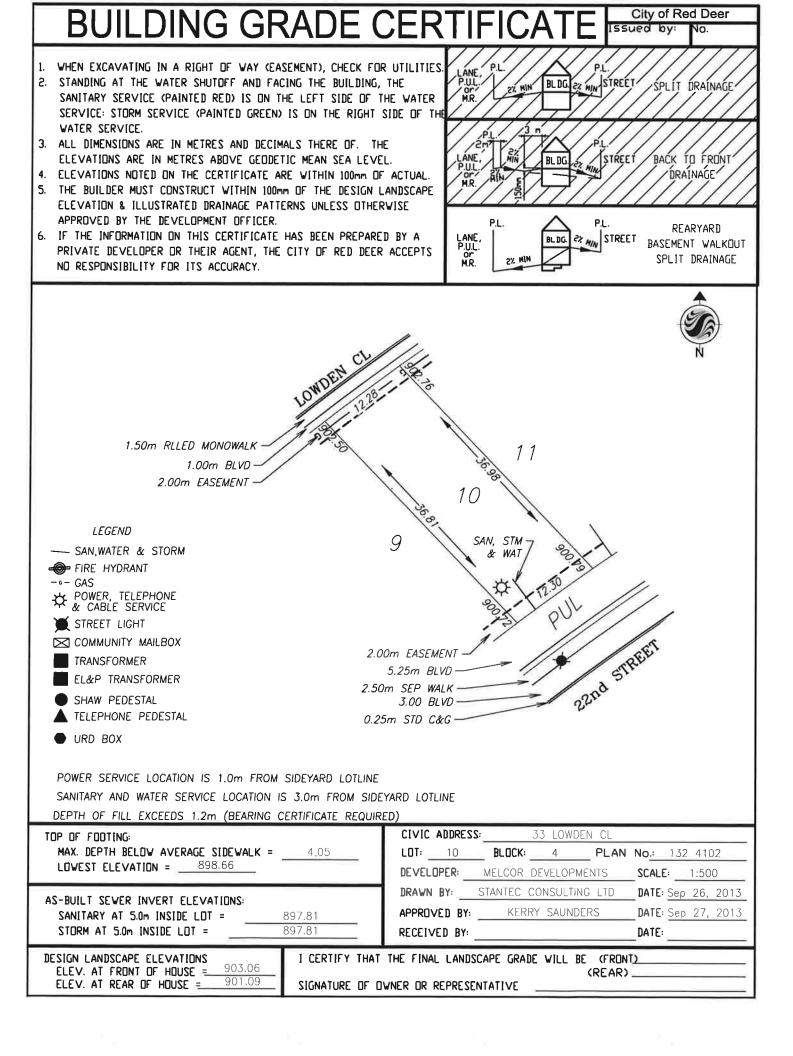
DESIGN LANDSCAPE ELEVATIONS
ELEV. AT FRONT OF HOUSE = 902.23
ELEV. AT REAR OF HOUSE = 901.23

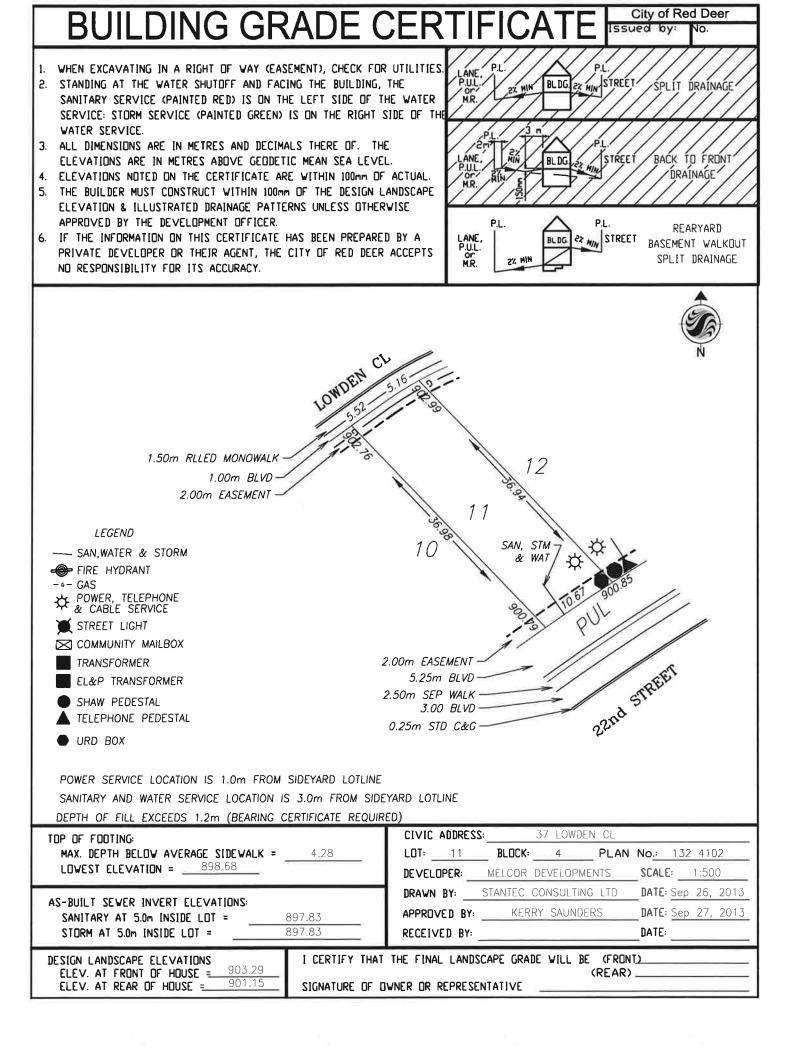
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) (REAR) (REAR) (REAR)

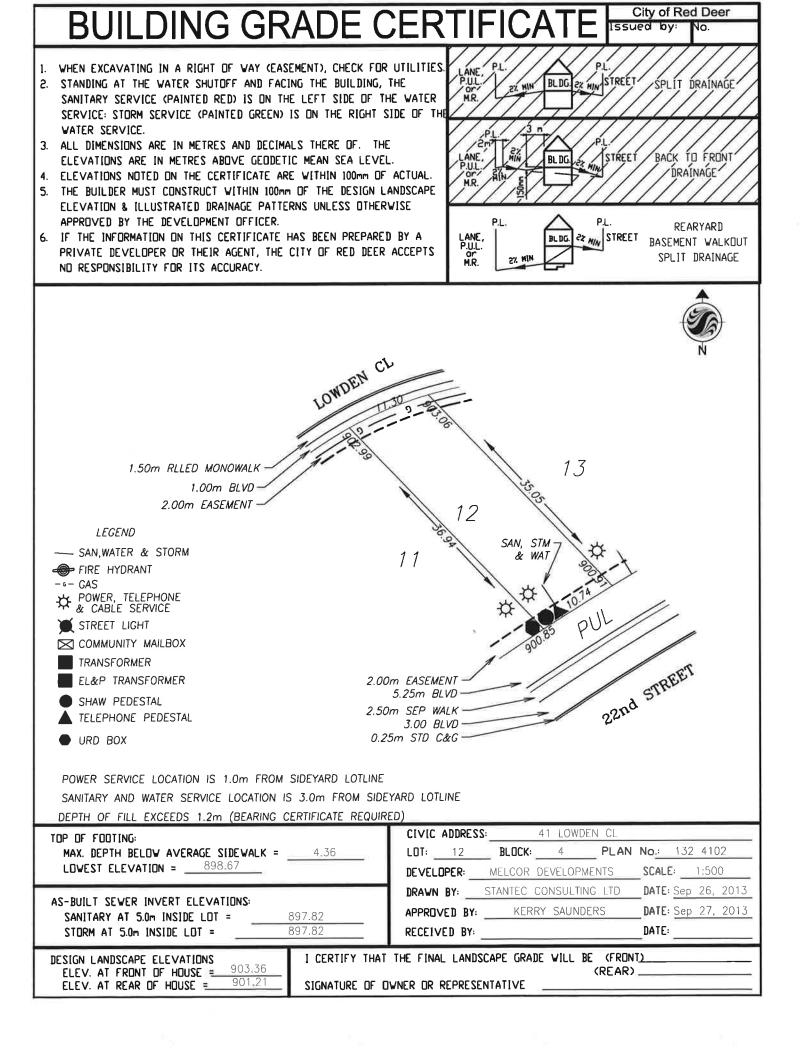


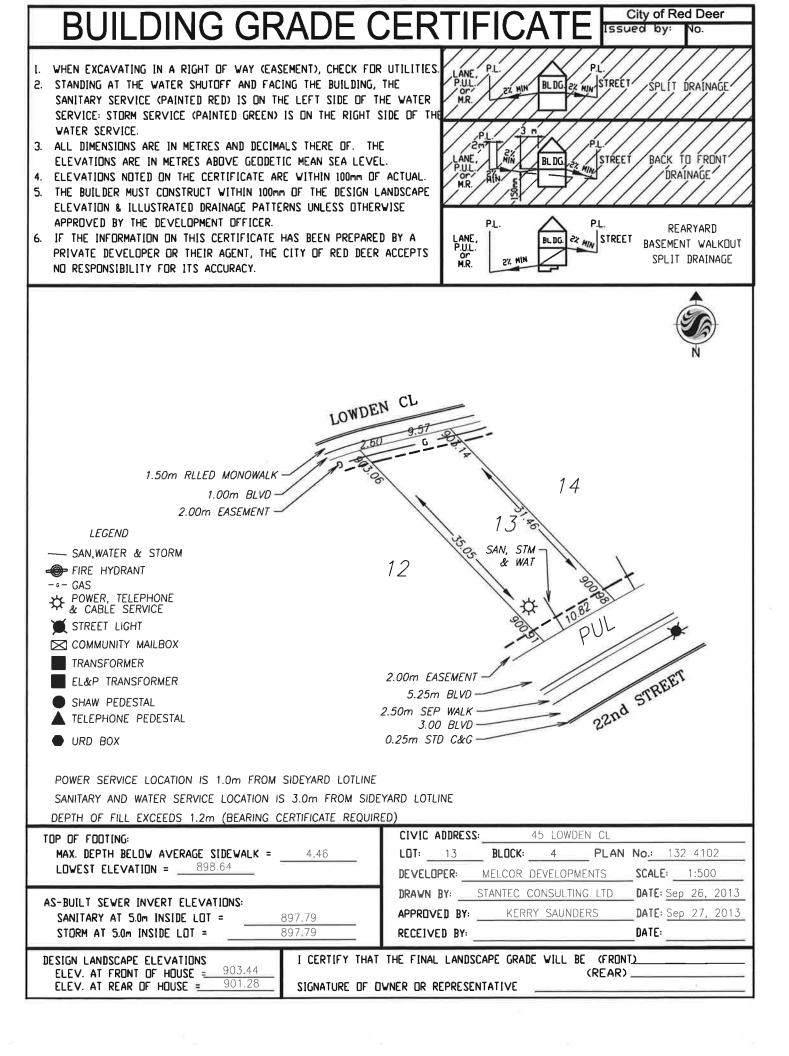


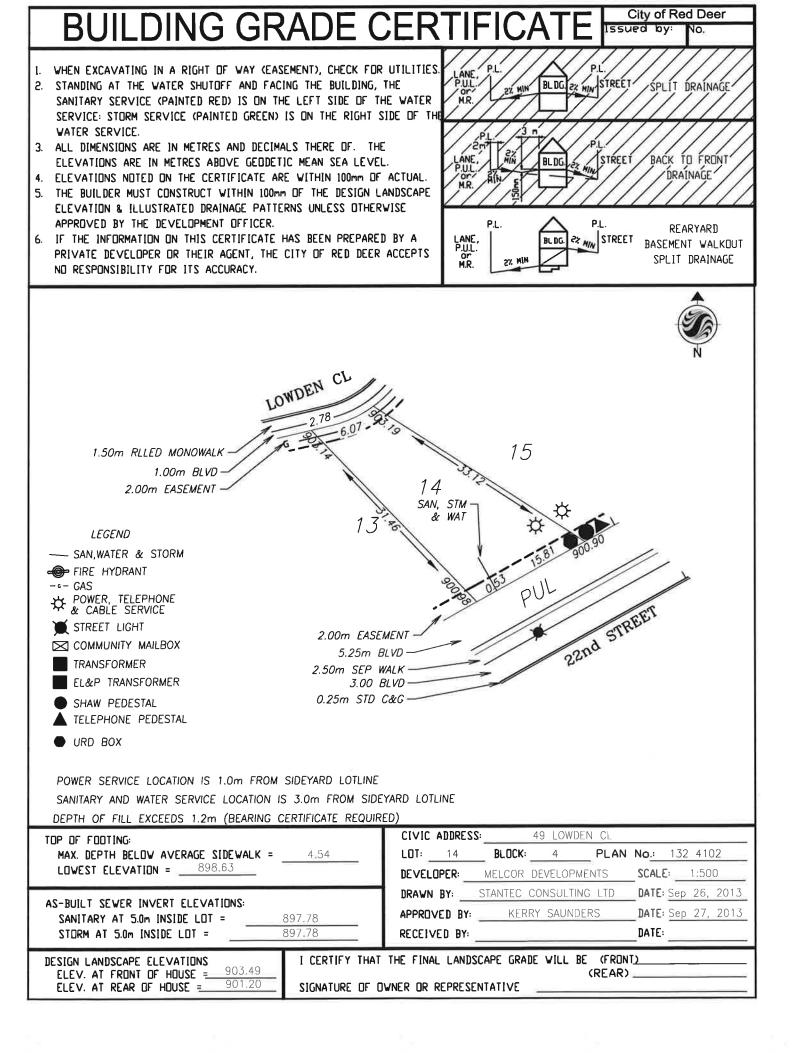


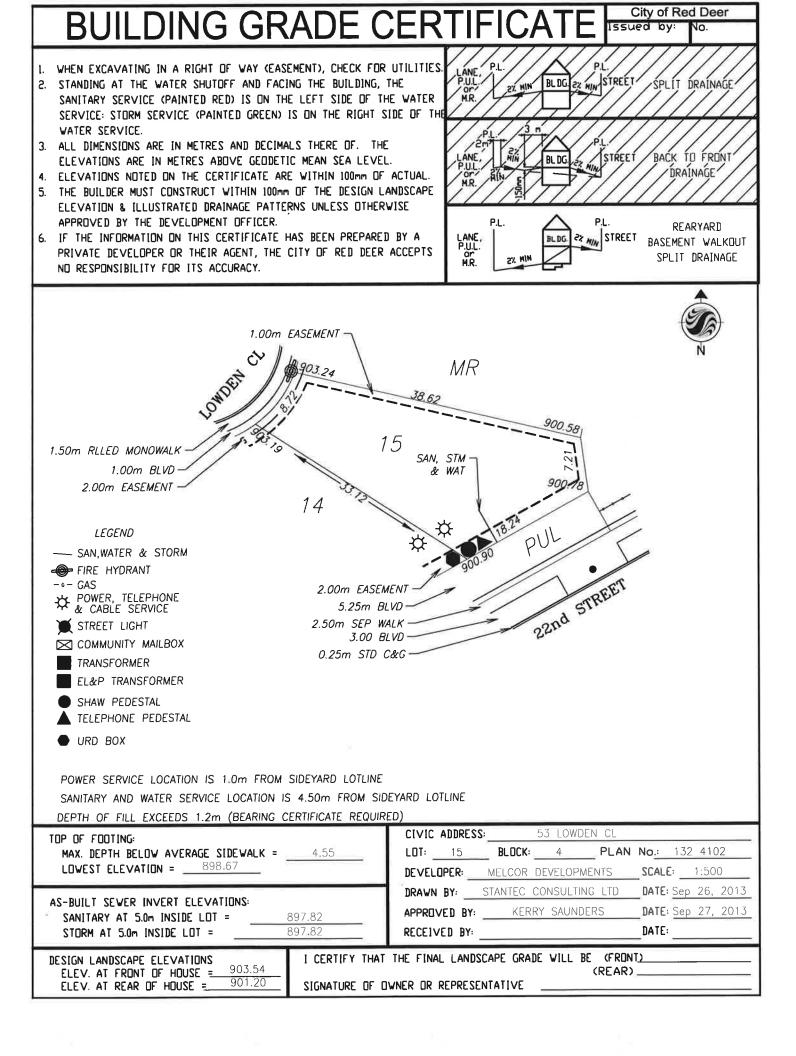


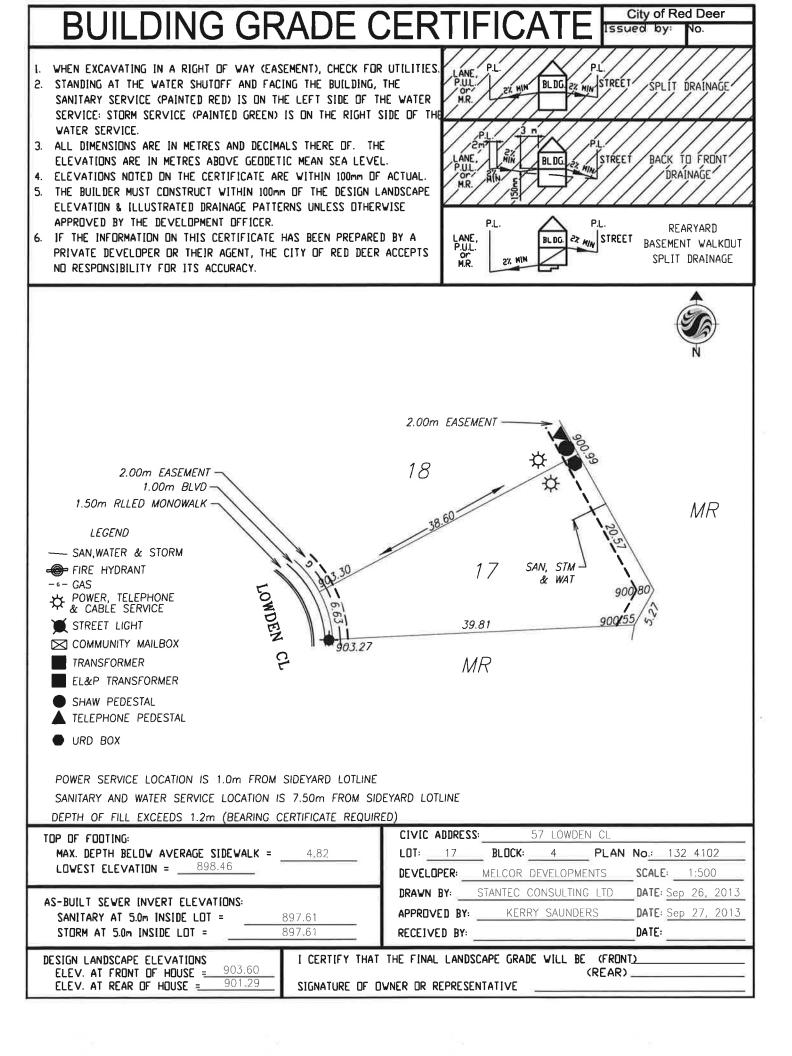


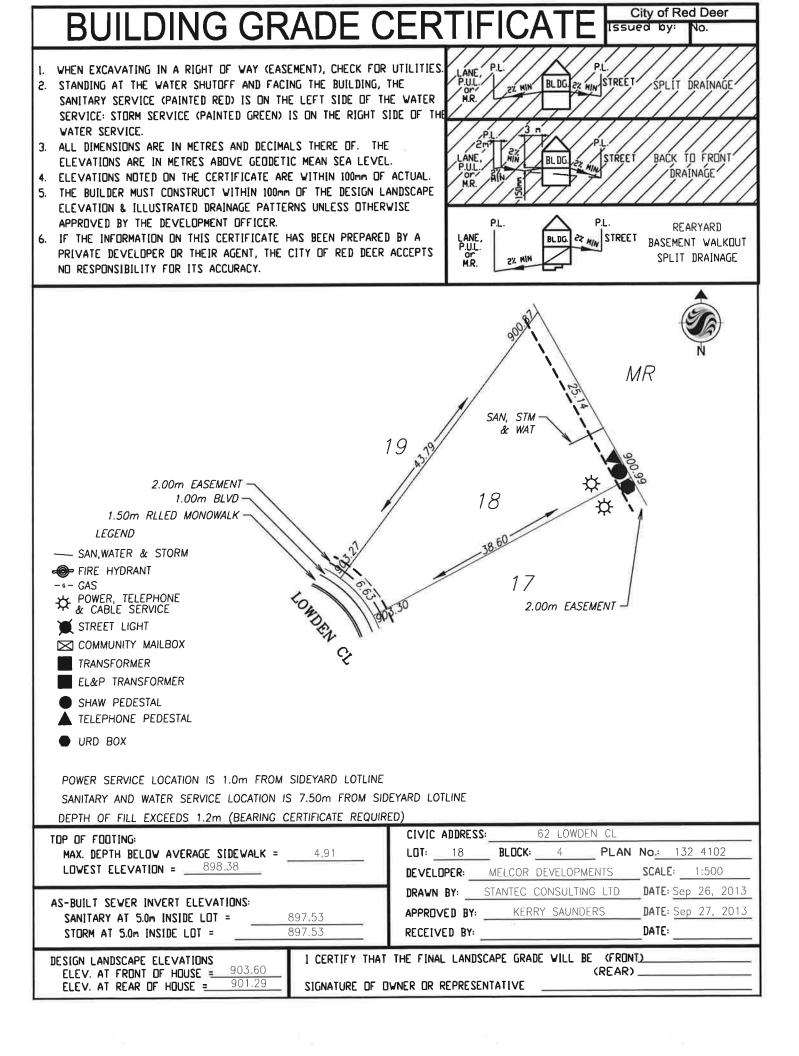


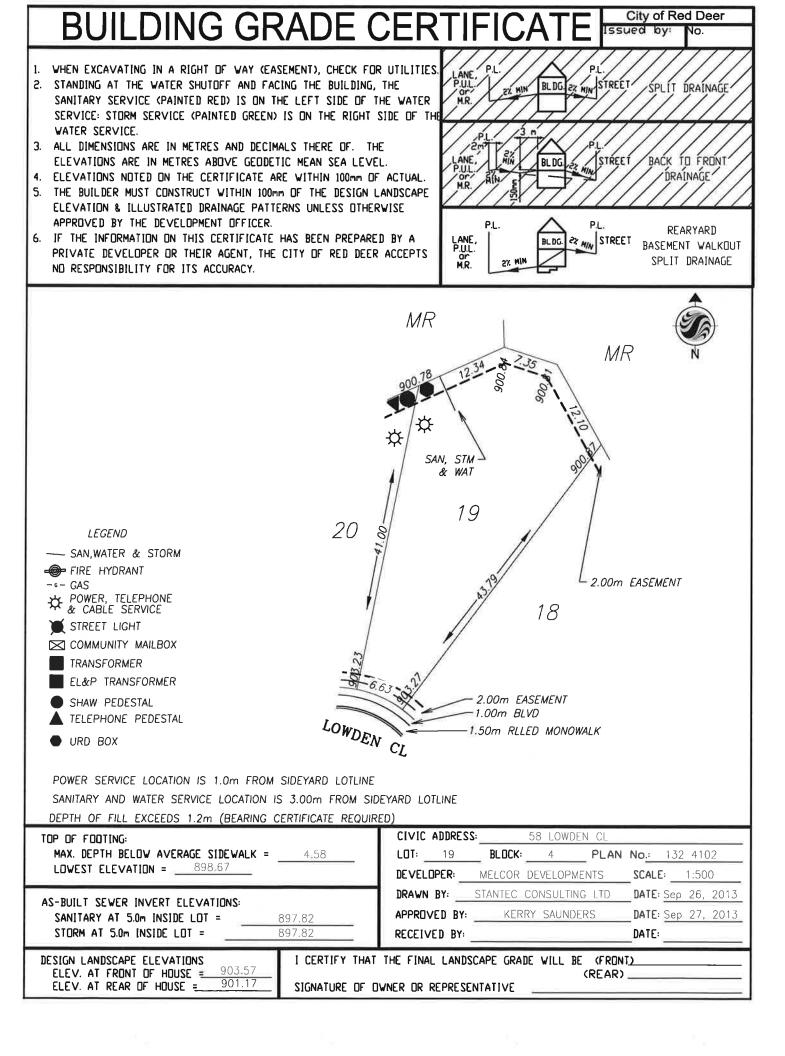


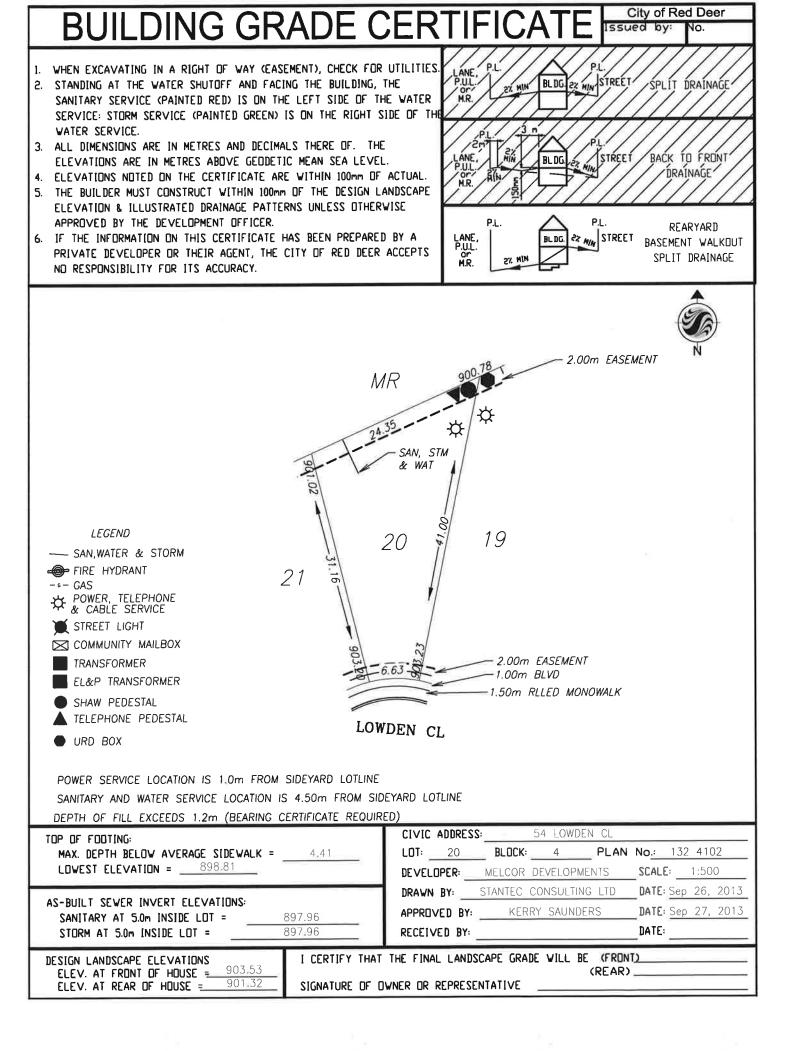










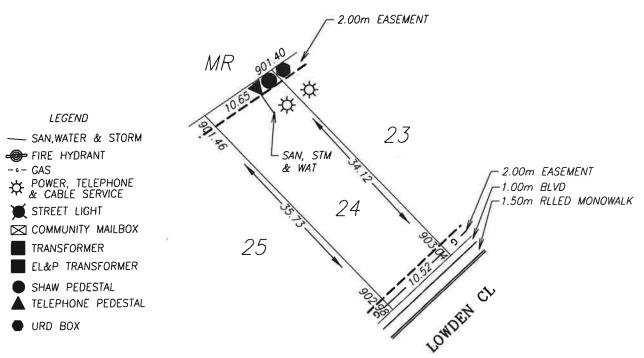


City of Red Deer BUILDING GRADE CERTIFICA Issued by: 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. EX MIN STREET 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE STREET BACK TO FRONT BL DG ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD LANE, P.U.L. or M.R. STREET BASEMENT WALKOUT 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE NO RESPONSIBILITY FOR ITS ACCURACY. 2.00m EASEMENT SAN, STM **LEGEND** & WAT 20 - SAN, WATER & STORM FIRE HYDRANT - o - GAS POWER, TELEPHONE & CABLE SERVICE 🌉 STREET LIGHT - 2.00m EASEMENT COMMUNITY MAILBOX —1.00m BLVD TRANSFORMER -1.50m RLLED MONOWALK LOWDEN CL EL&P TRANSFORMER SHAW PEDESTAL ▲ TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 7.50m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 50 LOWDEN CL TOP OF FOOTING: LOT: 21 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOV AVERAGE SIDEWALK = 4.37 LOWEST ELEVATION = 898.81 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEVER INVERT ELEVATIONS: **DATE:** Sep 27, 2013 APPROVED BY: KERRY SAUNDERS SANITARY AT 5.0m INSIDE LOT = 897.96 DATE: 897.96 STORM AT 5.0m INSIDE LOT = RECEIVED BY: I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS 903.50 ELEV. AT FRONT OF HOUSE =_____ (REAR)_ 901.52 SIGNATURE OF OWNER OR REPRESENTATIVE

BUILDING GRADE CERTIFICATE City of Red Deer WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. EX MIN STREET 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. BL DG. /DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. P.L. REARYARD 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A ANE. STREET BASEMENT WALKOUT P.U.L. or M.R. PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT 21 SAN, STM **LEGEND** & WAT 2.00m EASEMENT SAN, WATER & STORM -1.00m BLVD FIRE HYDRANT 1.50m RLLED MONOWALK - GAS POWER, TELEPHONE & CABLE SERVICE STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 46 LOWDEN CL TOP OF FOOTING: LOT: 22 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.05 LOVEST ELEVATION = 899.09 DEVELOPER: MELCOR DEVELOPMENTS **SCALE**: 1:500 DRAWN BY: STANTEC CONSULTING LTD **DATE:** Sep 26, 2013 AS-BUILT SEWER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS **DATE:** Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 898.24 STORM AT 5.0m INSIDE LOT = 898.24 RECEIVED BY: DATE: DESIGN LANDSCAPE ELEVATIONS I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) ELEV. AT FRONT OF HOUSE =___ (REAR)_ 901.61 ELEV. AT REAR OF HOUSE =_ SIGNATURE OF OWNER OR REPRESENTATIVE

City of Red Deer BUILDING GRADE CERTIFICA 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. Z MIN STREET 2. STANDING AT THE WATER SHUTDEF AND FACING THE BUILDING, THE SPLÍT DRAÍNAGE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /DRAINAGE/ 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD LANE, P.U.L. or M.R. STREET BASEMENT WALKOUT 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE SX HIN NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT SAN, STM = 2.00m EASEMENT **LEGEND** -1.00m BLVD — SAN, WATER & STORM 1.50m RLLED MONOWALK → FIRE HYDRANT - G - GAS POWER, TELEPHONE & CABLE SERVICE STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL ▲ TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 42 LOWDEN CL TOP OF FOOTING: LOT: ___23 ___ BLOCK: ___4 ___ PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = _____3.89 LOWEST ELEVATION = ___899.19 DEVELOPER: ____MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEWER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS **DATE:** Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 898.34 DATE: 898.34 STORM AT 5.0m INSIDE LOT = RECEIVED BY: I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS 903.41 ELEV. AT FRONT OF HOUSE =_ (REAR)_ 901.70 ELEV. AT REAR OF HOUSE =___ SIGNATURE OF OWNER OR REPRESENTATIVE

City of Red Deer LDING GRADE CERTIFICA Issued by: WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. STREET! 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SPLÍT DRAÍNAGE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET BL DG. ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /DRAINAGE/ 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. ВL, REARYARD LANE, P.U.L. or M.R. ≥ MIN STREET 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE SX HIN NO RESPONSIBILITY FOR ITS ACCURACY.



POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE
DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:		CIVIC ADDRESS	: 38 LOWDEN CL				
MAX. DEPTH BELOW AVERAGE SIDEWALK =	3.75	LOT:24	BLOCK:	4	PLAN	No.: 13	2 4102
LOWEST ELEVATION = 899.26		DEVELOPER:	MELCOR	DEVELOPMI	ENTS	SCALE:	1:500
AC DULL T. OCCUPED ANY COT. ST. STATISTICS	DRAWN BY:	STANTEC	CONSULTIN	G LTD	DATE: Sep	26, 2013	
AS-BUILT SEVER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 898	3,41	APPROVED BY:	KER	RY SAUNDE	IRS	DATE: Se	27, 2013
	3.41	RECEIVED BY:				_DATE:	
DESIGN LANDSCARE ELEVATIONS	CERTIFY THAT	THE FINAL LANDS	CAPE GRAI	NE WILL RE	(FRONT	()	

DESIGN LANDSCAPE ELEVATIONS

ELEV. AT FRONT OF HOUSE = 903.34

ELEV. AT REAR OF HOUSE = 901.76

SIGNATURE OF OWNER OR REPRESENTATIVE

JILDING GRADE CERTIFICAT 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. EX HIN STREET 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE STREET BACK TO FRONT ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /DRAINAGE/ 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD LANE, P.U.L. or M.R. STREET BASEMENT WALKOUT 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE SX HIM NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT MR -2.00m EASEMENT =1.00m BLVD **LEGEND** 1.50m RLLED MONOWALK SAN.WATER & STORM FIRE HYDRANT - - GAS POWER, TELEPHONE & CABLE SERVICE T STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL ▲ TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 34 LOWDEN CL TOP OF FOOTING: LOT: 25 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.52 LOWEST ELEVATION = 899.29 SCALE: 1:500 DEVELOPER: MELCOR DEVELOPMENTS DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEVER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 898.44 RECEIVED BY: _ STORM AT 5.0m INSIDE LOT = 898.44 DATE: I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 903.20 (REAR) _

SIGNATURE OF OWNER OR REPRESENTATIVE

ELEV. AT REAR OF HOUSE =__

City of Red Deer **BUILDING GRADE CERTIFICATE** LANE, P.L. P.U.L. or M.R. 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. BLDG 2% MIN STREET 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SPLIT DRAINAGE SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE STREET BACK TO FRONT ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG STREET BASEMENT WALKOUT P.U.L. or M.R. PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SX MIN SPLIT DRAINAGE NO RESPONSIBILITY FOR ITS ACCURACY. 2.00m EASEMENT MR SAN, STM & WAT **LEGEND** SAN, WATER & STORM 2.00m EASEMENT FIRE HYDRANT -1.00m BLVD - GAS 26 POWER, TELEPHONE 1.50m RLLED MONOWALK & CABLE SERVICE T STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 30 LOWDEN CL TOP OF FOOTING: LOT: 26 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.32 LOWEST ELEVATION = 899.22 **SCALE**: 1:500 DEVELOPER: MELCOR DEVELOPMENTS DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEWER INVERT ELEVATIONS: DATE: Sep 27, 2013 APPROVED BY: KERRY SAUNDERS SANITARY AT 5.0m INSIDE LOT = 898.37 898.37 STORM AT 5.0m INSIDE LOT = RECEIVED BY:

DESIGN LANDSCAPE ELEVATIONS
ELEV. AT FRONT OF HOUSE = 903.06
ELEV. AT REAR OF HOUSE = 901.62

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT)

(REAR)

SIGNATURE OF OWNER OR REPRESENTATIVE

BUILDING GRADE CERTIFICATE LANE, P.L. P.U.L. or M.R. 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. BLDG ZZ MIN STREET SPLIT DRAINAGE 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD STREET' 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT SAN, STM 26 2.00m EASEMENT -1.00m BLVD **LEGEND** 1.50m RLLED MONOWALK SAN, WATER & STORM FIRE HYDRANT -6- GAS POWER, TELEPHONE & CABLE SERVICE 🁅 STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL ▲ TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 26 LOWDEN CL TOP OF FOOTING: LOT: ____27 BLOCK: ____4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.11 LOWEST ELEVATION = 899.25 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: ____STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEWER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 898.40 STORM AT 5.0m INSIDE LOT = 898.40 RECEIVED BY: 1 CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE (REAR)_ ELEV. AT REAR OF HOUSE =___ SIGNATURE OF OWNER OR REPRESENTATIVE

BUILDING GRADE CERTIFICATE WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. BLDG ZZ MIN STREET SPLIT DRAINAGE 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE STREET BACK TO FRONT ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD MW STREET 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG. BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRÁINÁGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT MR - SAN, STM & WAT - 2.00m EASEMENT **LEGEND** -1.00m BLVD - SAN, WATER & STORM 1.50m RLLED MONOWALK FIRE HYDRANT --- GAS POWER, TELEPHONE & CABLE SERVICE T STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL ▲ TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED) CIVIC ADDRESS: 22 LOWDEN CL TOP OF FOOTING: LOT: 28 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.87 LOWEST ELEVATION = 899.30 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEVER INVERT ELEVATIONS: __DATE: Sep 27, 2013 APPROVED BY: KERRY SAUNDERS SANITARY AT 5.0m INSIDE LOT = 898.45 STORM AT 5.0m [NSIDE LOT = 898.45 DATE: RECEIVED BY: I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 902.56 ELEV. AT REAR OF HOUSE = 901.50 (REAR) _ SIGNATURE OF OWNER OR REPRESENTATIVE

City of Red Deer BUILDING GRADE CERTIFICATE LANE, P.L. P.U.L. 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. BLDG ZZ MIN STREET SPLIT DRAINAGE 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE 1street BACK TO FRONT ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /DRAINAGE/ 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD STREET' 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG. BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRÁINÁGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT 28 **LEGEND** SAN, STM & WAT - SAN, WATER & STORM - 2.00m EASEMENT -1.00m BLVD FIRE HYDRANT 1.50m RLLED MONOWALK - GAS POWER, TELEPHONE & CABLE SERVICE 🌉 STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL ▲ TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE CIVIC ADDRESS: 18 LOWDEN CL TOP OF FOOTING: LOT: 29 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.73 LOWEST ELEVATION = 899.25 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEVER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 898.40 898.40 DATE: STORM AT 5.0m INSIDE LOT = RECEIVED BY: DESIGN LANDSCAPE ELEVATIONS I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) ELEV. AT FRONT OF HOUSE =___ 902.37 (REAR) __ 901.36 ELEV. AT REAR OF HOUSE =__ SIGNATURE OF OWNER OR REPRESENTATIVE

City of Red Deer BUILDING GRADE CERTIFICATE LANE, P.L. 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. STREET SPLIT DRAINAGE 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE BL DG SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD MIN STREET 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG. BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRÁINÁGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT MR29 **LEGEND** SAN, STM -& WAT SAN, WATER & STORM 2.00m EASEMENT FIRE HYDRANT 1.00m BLVD - GAS 1.50m RLLED MONOWALK POWER, TELEPHONE & CABLE SERVICE T STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL A TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE CIVIC ADDRESS: 14 LOWDEN CL TOP OF FOOTING: LOT: 30 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = LOWEST ELEVATION = 898.69 **SCALE:** 1:500 DEVELOPER: MELCOR DEVELOPMENTS DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEVER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS **DATE:** Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 897.84 RECEIVED BY: 897.84 DATE: STORM AT 5.0m INSIDE LOT = 1 CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE =___ 902.18 (REAR) _ 901.23 ELEV. AT REAR OF HOUSE =_ SIGNATURE OF OWNER OR REPRESENTATIVE

City of Red Deer BUILDING GRADE CERTIFICATE WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. EX MIN STREET 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SPLIT DRAINAGE SX MIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERVISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD MW STREET 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL DG. BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT MR 30 **LEGEND** SAN. STM SAN, WATER & STORM - 2.00m EASEMENT & WAT -1.00m BLVD FIRE HYDRANT 1.50m RLLED MONOWALK - - GAS POWER, TELEPHONE & CABLE SERVICE 🌉 STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE CIVIC ADDRESS: 10 LOWDEN CL TOP OF FOOTING: LOT: 31 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3:03 LOWEST ELEVATION = 898.55 **SCALE:** 1:500 DEVELOPER: MELCOR DEVELOPMENTS DRAWN BY: ___STANTEC CONSULTING LTD **DATE:** Sep 26, 2013 AS-BUILT SEWER INVERT ELEVATIONS: APPROVED BY: ___ KERRY SAUNDERS DATE: Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 897.70 897.70 DATE: STORM AT 5.0m INSIDE LOT = RECEIVED BY: I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 901.98 (REAR) SIGNATURE OF OWNER OR REPRESENTATIVE ELEV. AT REAR OF HOUSE =_

City of Red Deer BUILDING GRADE CERTIFICAT LANE, P.L. P.U.L. | 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES. BLDG 22 MIN STREET 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SY MIN SPLIT DRAINAGE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD MIN STREET 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BLDG BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRÁINÁGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT MRSAN. STM & WAT **LEGEND** - SAN, WATER & STORM - 2.00m EASEMENT FIRE HYDRANT -1.00m BLVD - G- GAS 1.50m RLLED MONOWALK POWER, TELEPHONE & CABLE SERVICE T STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE CIVIC ADDRESS: 6 LOWDEN CL TOP OF FOOTING: LOT: 32 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = LOWEST ELEVATION = 898.55 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEVER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 897.70 897.70 RECEIVED BY: STORM AT 5.0m INSIDE LOT = I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE =___ 901.77 (REAR)_ 901.02 ELEV. AT REAR OF HOUSE =_ SIGNATURE OF OWNER OR REPRESENTATIVE

BUILDING GRADE CERTIFICATE LANE, P.L. P.U.L. | 1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES, BLDG ZZ MIN STREET SPLIT DRAINAGE 2. STANDING AT THE WATER SHUTDFF AND FACING THE BUILDING, THE SX HIN SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE. 3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE BACK TO FRONT STREET ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL. /DRAINAGE 4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL. 5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER. REARYARD STREET' 6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A BL.DG. BASEMENT WALKOUT PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS SPLIT DRAINAGE NO RESPONSIBILITY FOR ITS ACCURACY. - 2.00m EASEMENT 1.00m BLVD -SAN, STM 1.50m RLLED MONOWALK & WAT - 2.00m EASEMENT -1.00m BLVD **LEGEND** 1.50m RLLED MONOWALK — SAN, WATER & STORM FIRE HYDRANT - G- GAS → POWER, TELEPHONE & CABLE SERVICE 🏿 STREET LIGHT COMMUNITY MAILBOX TRANSFORMER EL&P TRANSFORMER SHAW PEDESTAL TELEPHONE PEDESTAL URD BOX POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE CIVIC ADDRESS: 2 LOWDEN CL TOP OF FOOTING: LOT: 33 BLOCK: 4 PLAN No.: 132 4102 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.53 LOVEST ELEVATION = 898.56 DEVELOPER: MELCOR DEVELOPMENTS **SCALE:** 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 AS-BUILT SEWER INVERT ELEVATIONS: APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 SANITARY AT 5.0m INSIDE LOT = 897.71 897.71 RECEIVED BY: DATE: STORM AT 5.0m INSIDE LOT = I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) DESIGN LANDSCAPE ELEVATIONS 901.57 ELEV. AT FRONT OF HOUSE = 901.57 ELEV. AT REAR OF HOUSE = 901.06 (REAR) __ SIGNATURE OF OWNER OR REPRESENTATIVE