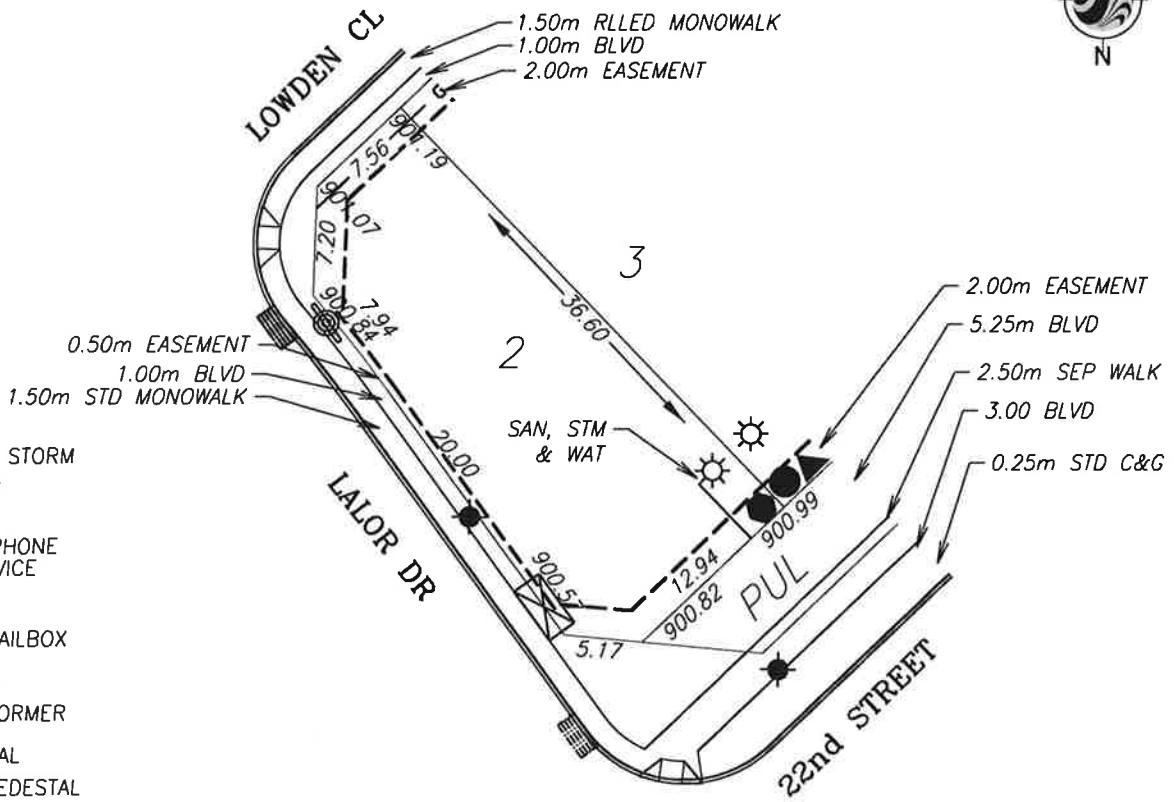
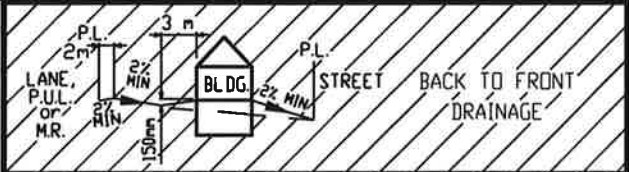


BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ⊙ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ⊙ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.26
 LOWEST ELEVATION = 898.77

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.92
 STORM AT 5.0m INSIDE LOT = 897.92

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 901.49
 ELEV. AT REAR OF HOUSE = 901.29

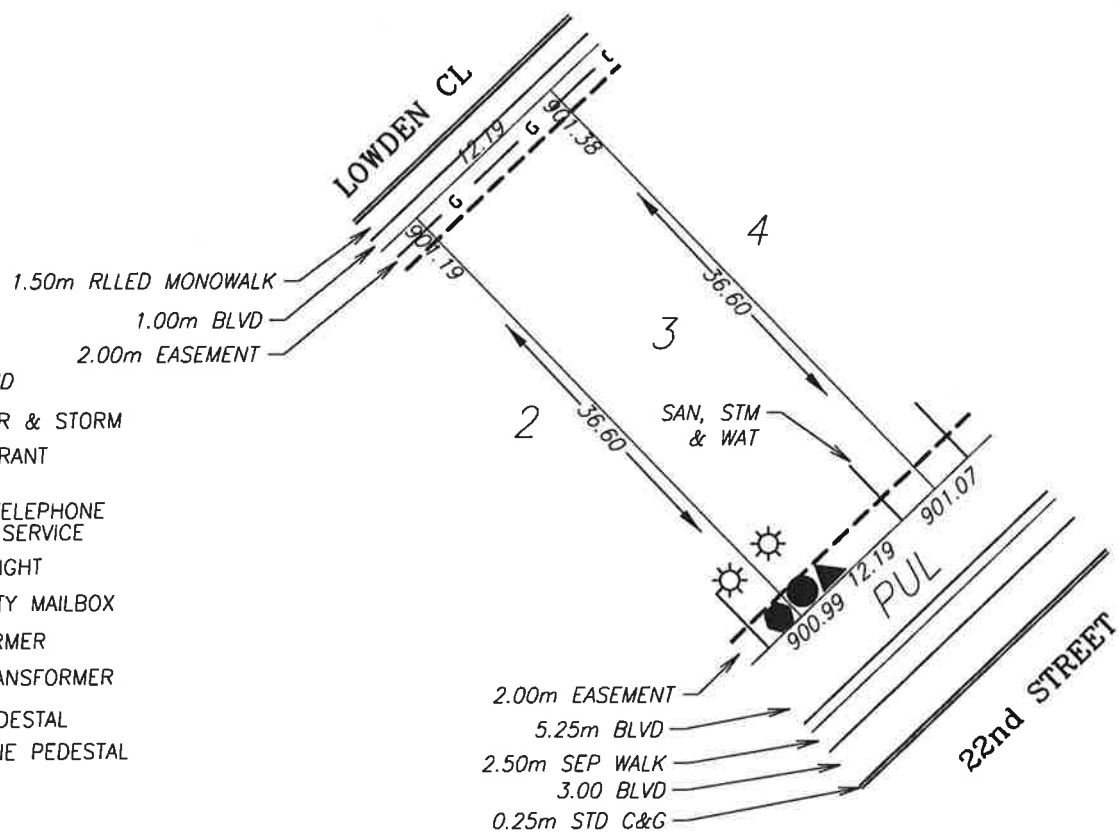
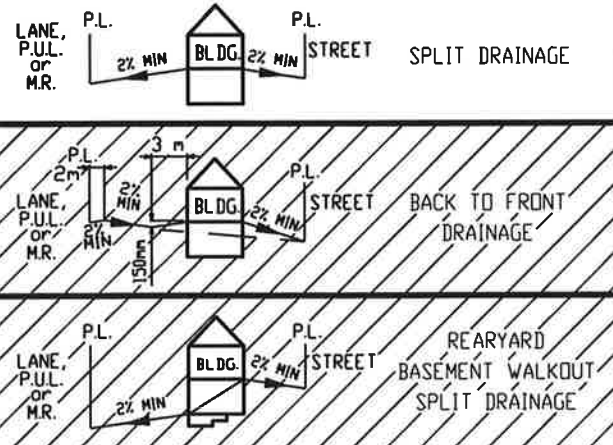
CIVIC ADDRESS: 1 LOWDEN CL
 LOT: 2 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ⊙ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ⦿ STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.42
 LOWEST ELEVATION = 898.87

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.02
 STORM AT 5.0m INSIDE LOT = 898.02

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 901.68
 ELEV. AT REAR OF HOUSE = 901.37

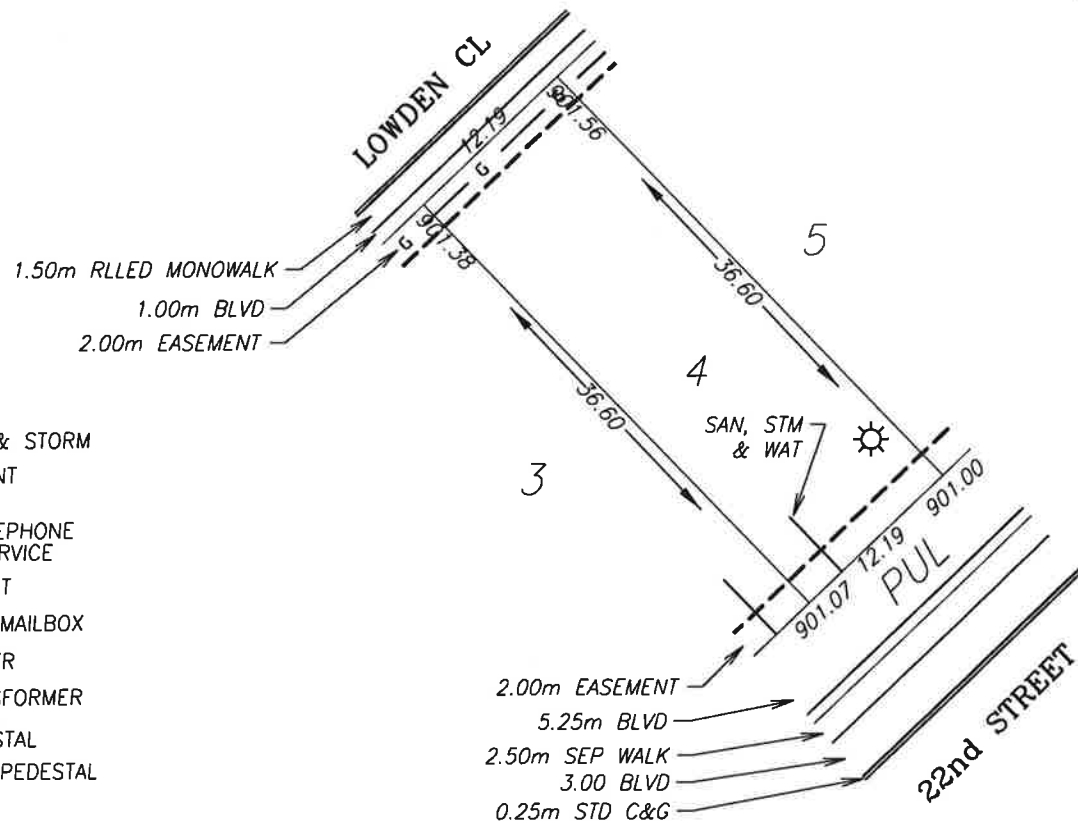
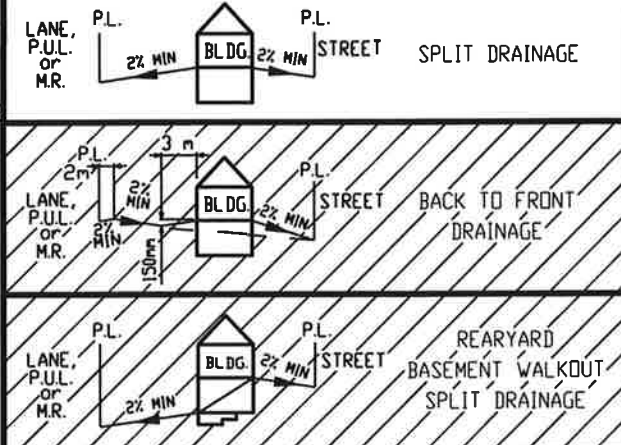
CIVIC ADDRESS: 5 LOWDEN CL
 LOT: 3 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ☹ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

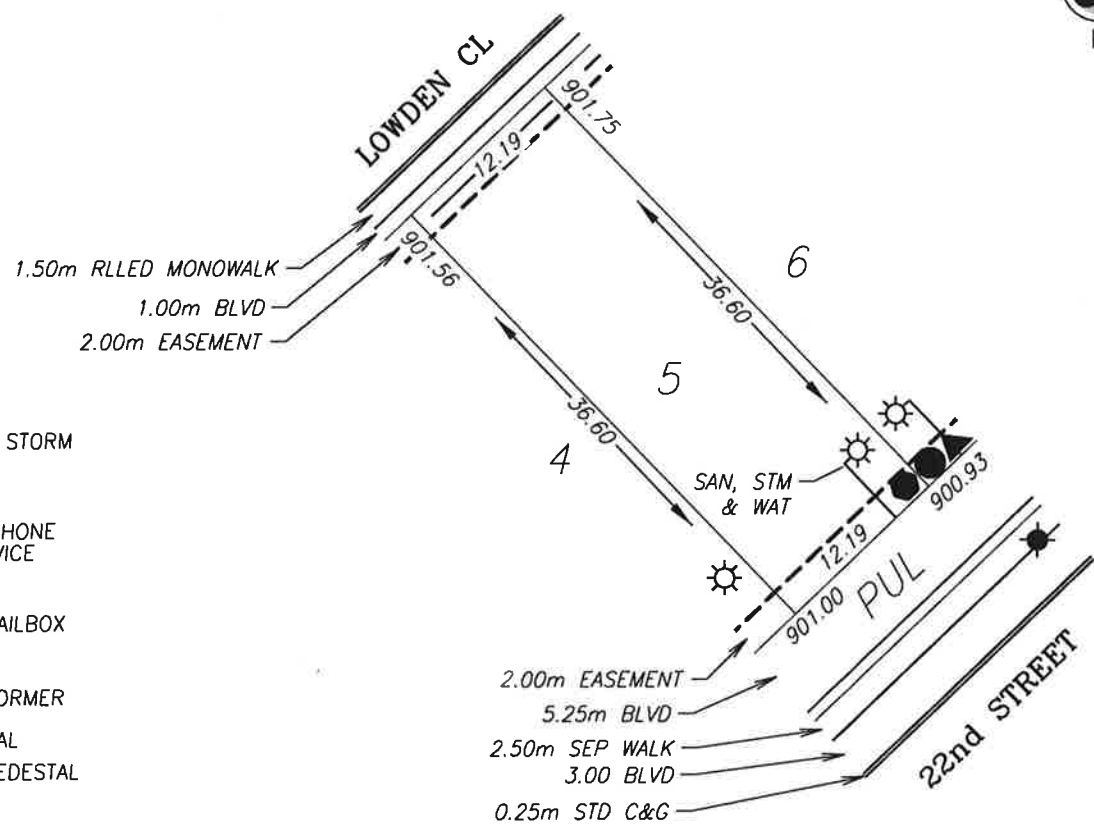
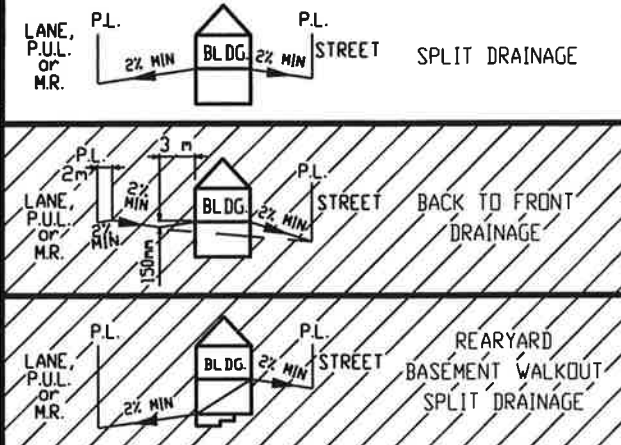
POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE

| | |
|--|--|
| <p>TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>2.60</u> LOWEST ELEVATION = <u>898.87</u></p> | <p>CIVIC ADDRESS: <u>9 LOWDEN CL</u> LOT: <u>4</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____</p> |
| <p>AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>898.02</u> STORM AT 5.0m INSIDE LOT = <u>898.02</u></p> | <p>I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____</p> |
| <p>DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>901.86</u> ELEV. AT REAR OF HOUSE = <u>901.30</u></p> | |

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
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LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.83
 LOWEST ELEVATION = 898.87

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.02
 STORM AT 5.0m INSIDE LOT = 898.02

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.05
 ELEV. AT REAR OF HOUSE = 901.23

CIVIC ADDRESS: 13 LOWDEN CL
 LOT: 5 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

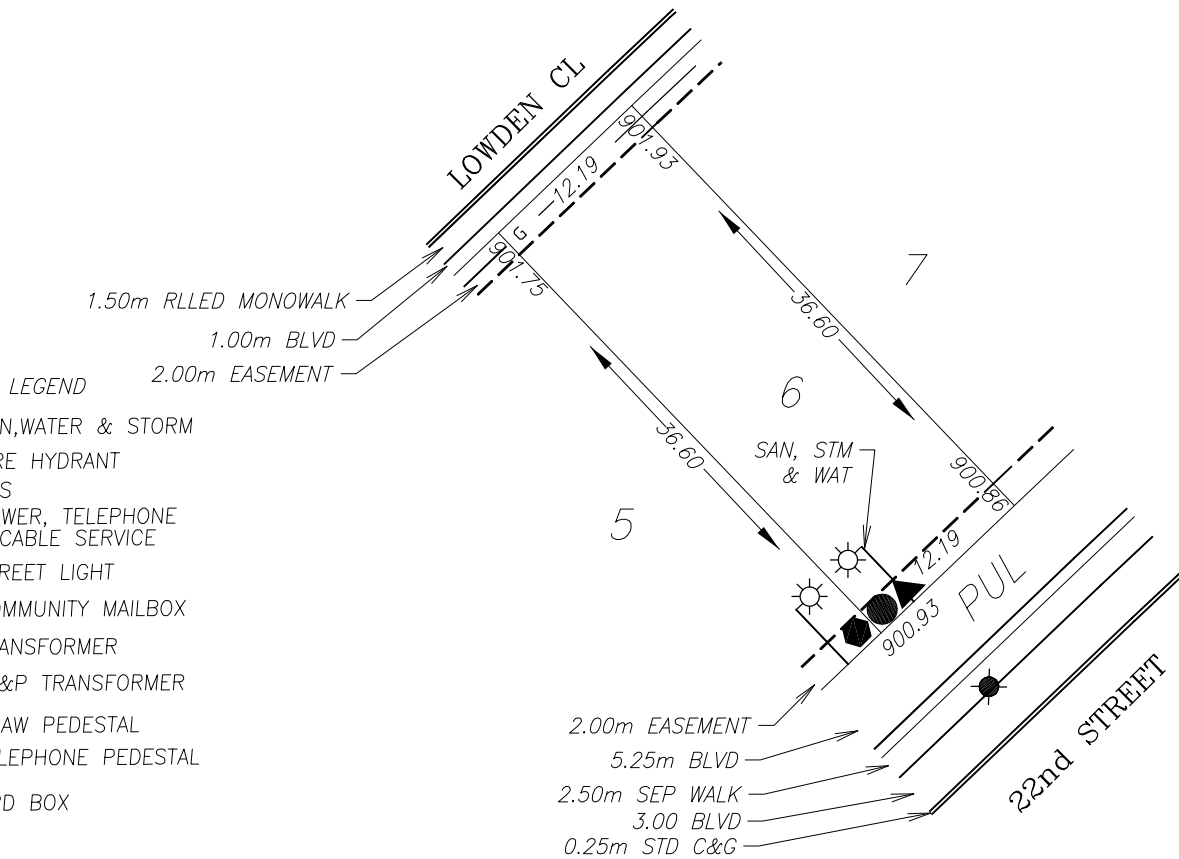
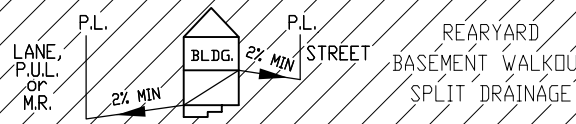
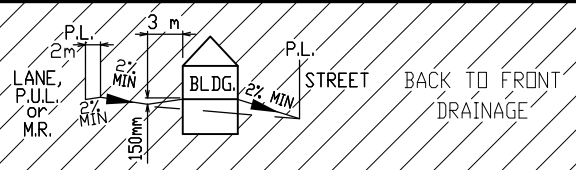
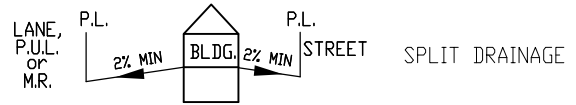
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ⊙ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.97
 LOWEST ELEVATION = 898.87

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.02
 STORM AT 5.0m INSIDE LOT = 898.02

CIVIC ADDRESS: 17 LOWDEN CL
 LOT: 6 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: DATE:

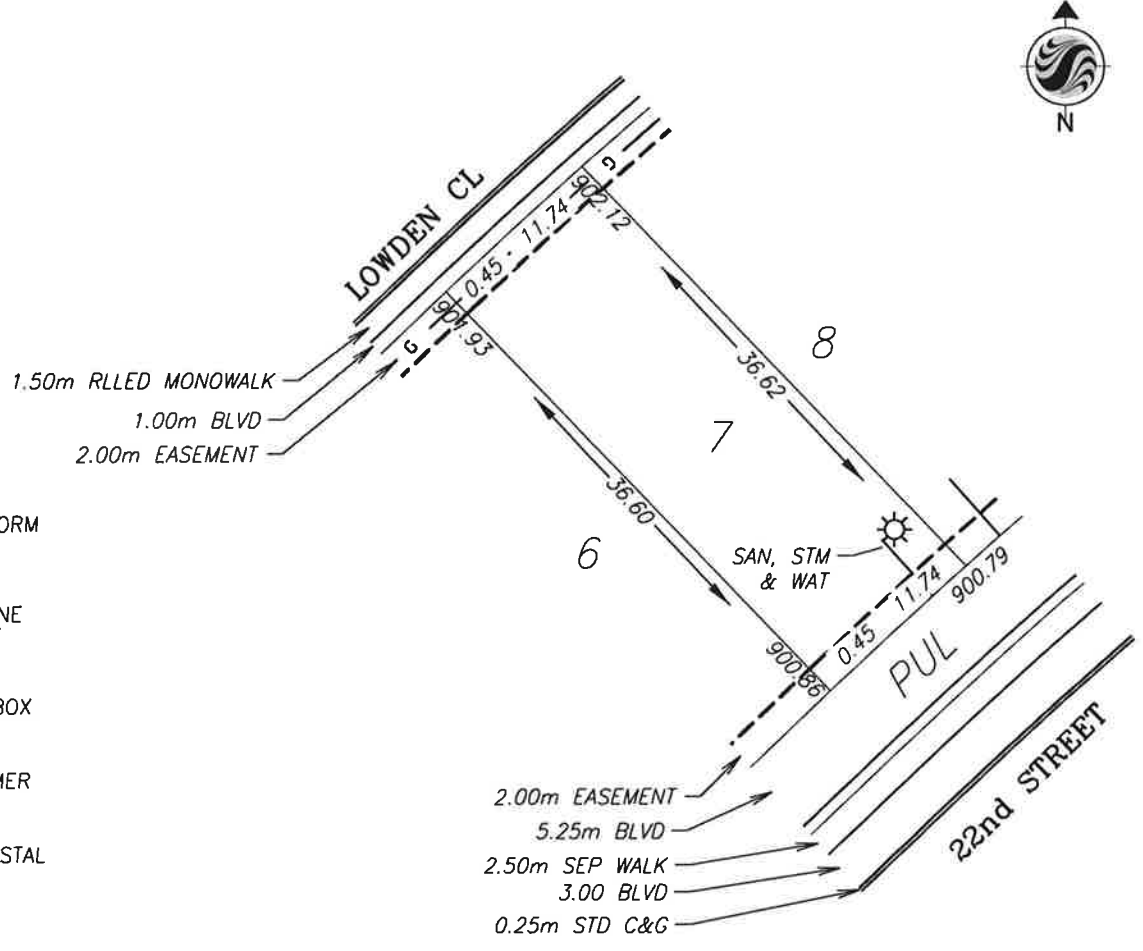
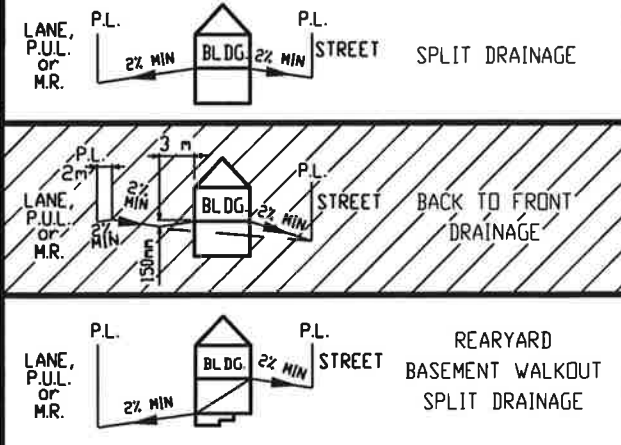
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.23
 ELEV. AT REAR OF HOUSE = 901.23

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
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5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.36
 LOWEST ELEVATION = 898.67

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.82
 STORM AT 5.0m INSIDE LOT = 897.82

CIVIC ADDRESS: 21 LOWDEN CL
 LOT: 7 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

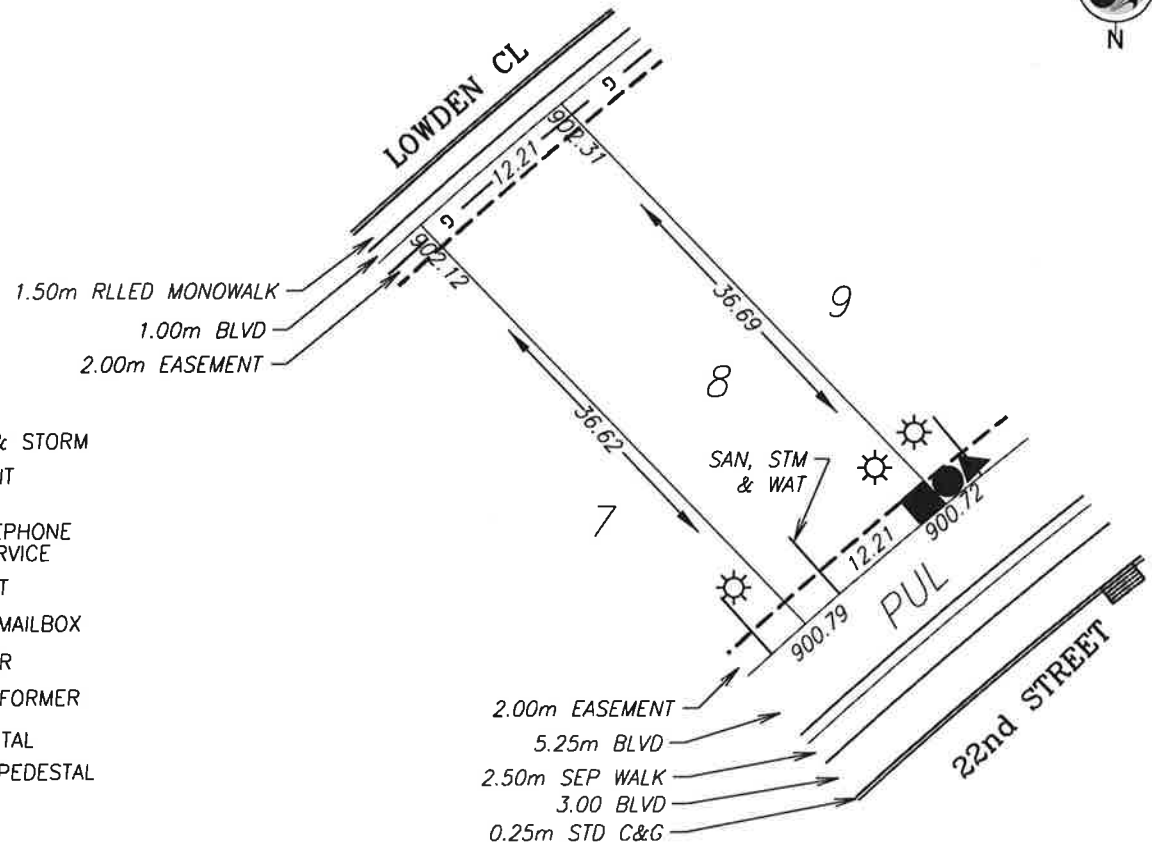
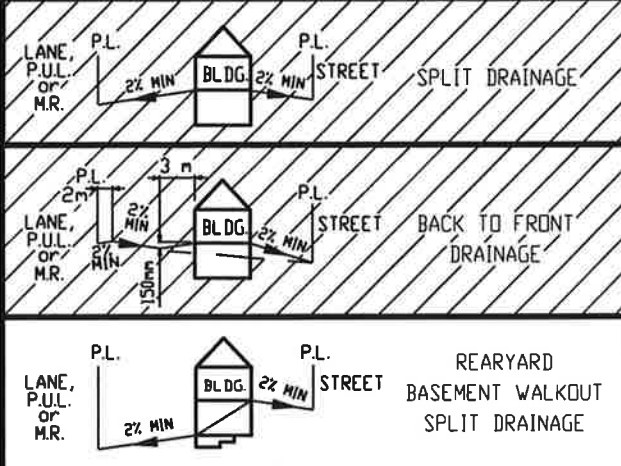
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.42
 ELEV. AT REAR OF HOUSE = 901.16

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
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6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ⊙ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ⊙ STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

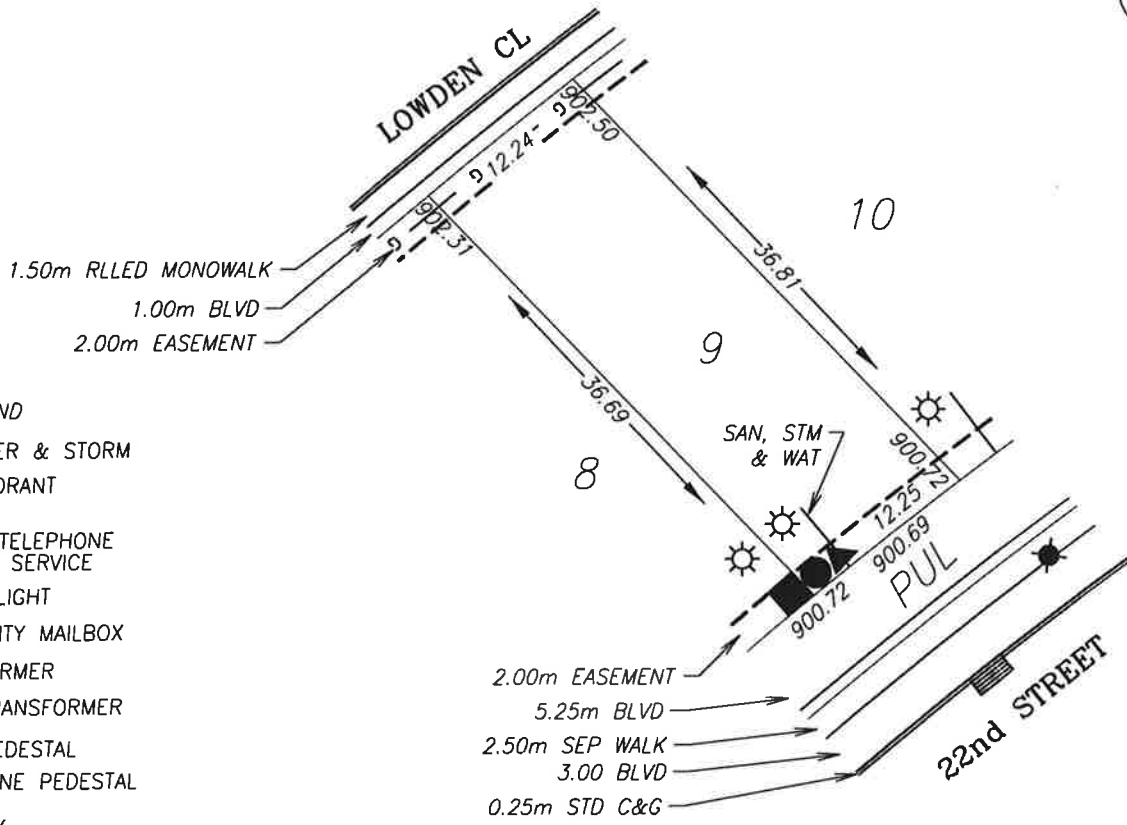
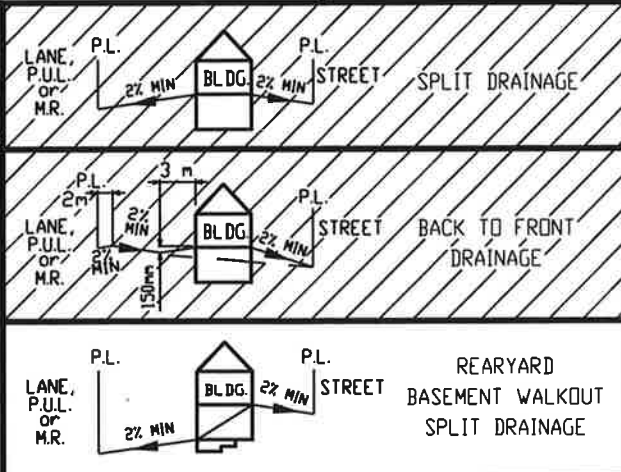
POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|---|--|
| TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>3.57</u> LOWEST ELEVATION = <u>898.65</u> | CIVIC ADDRESS: <u>25 LOWDEN CL</u> LOT: <u>8</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____ |
| AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>897.80</u> STORM AT 5.0m INSIDE LOT = <u>897.80</u> | |
| DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>902.61</u> ELEV. AT REAR OF HOUSE = <u>901.09</u> | I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____ |

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ☼ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

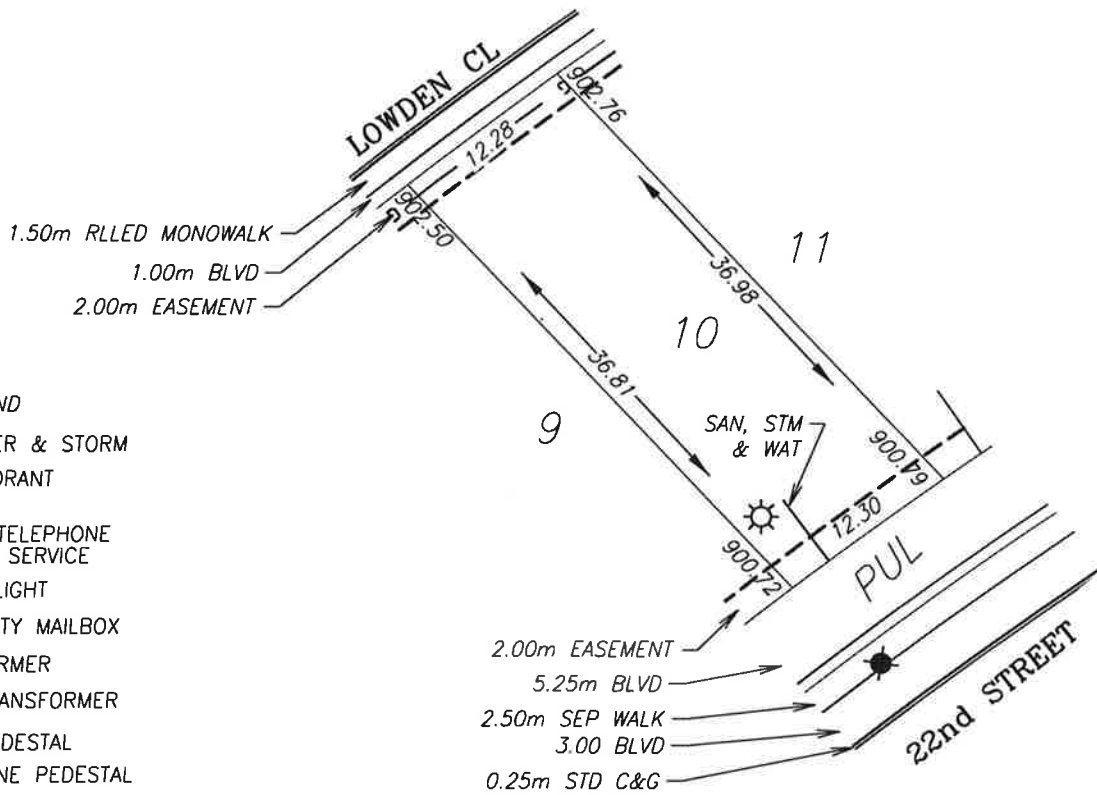
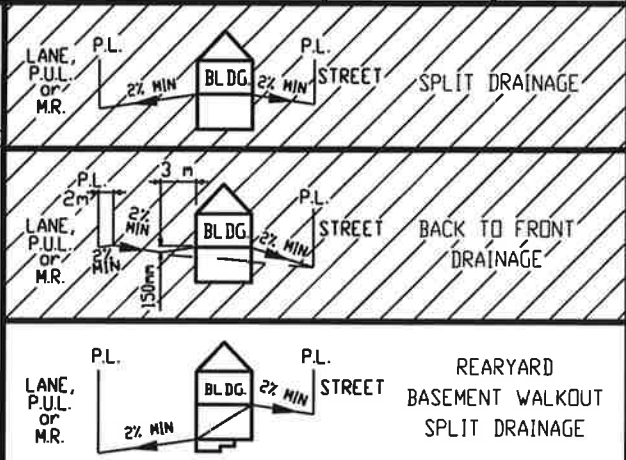
POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|--|---|
| TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.76 LOWEST ELEVATION = 898.65 | CIVIC ADDRESS: 29 LOWDEN CL LOT: 9 BLOCK: 4 PLAN No.: 132 4102 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013 RECEIVED BY: _____ DATE: _____ |
| AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = 897.80 STORM AT 5.0m INSIDE LOT = 897.80 | I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____ |
| DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = 902.80 ELEV. AT REAR OF HOUSE = 901.02 | |

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.05
 LOWEST ELEVATION = 898.66

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.81
 STORM AT 5.0m INSIDE LOT = 897.81

CIVIC ADDRESS: 33 LOWDEN CL
 LOT: 10 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

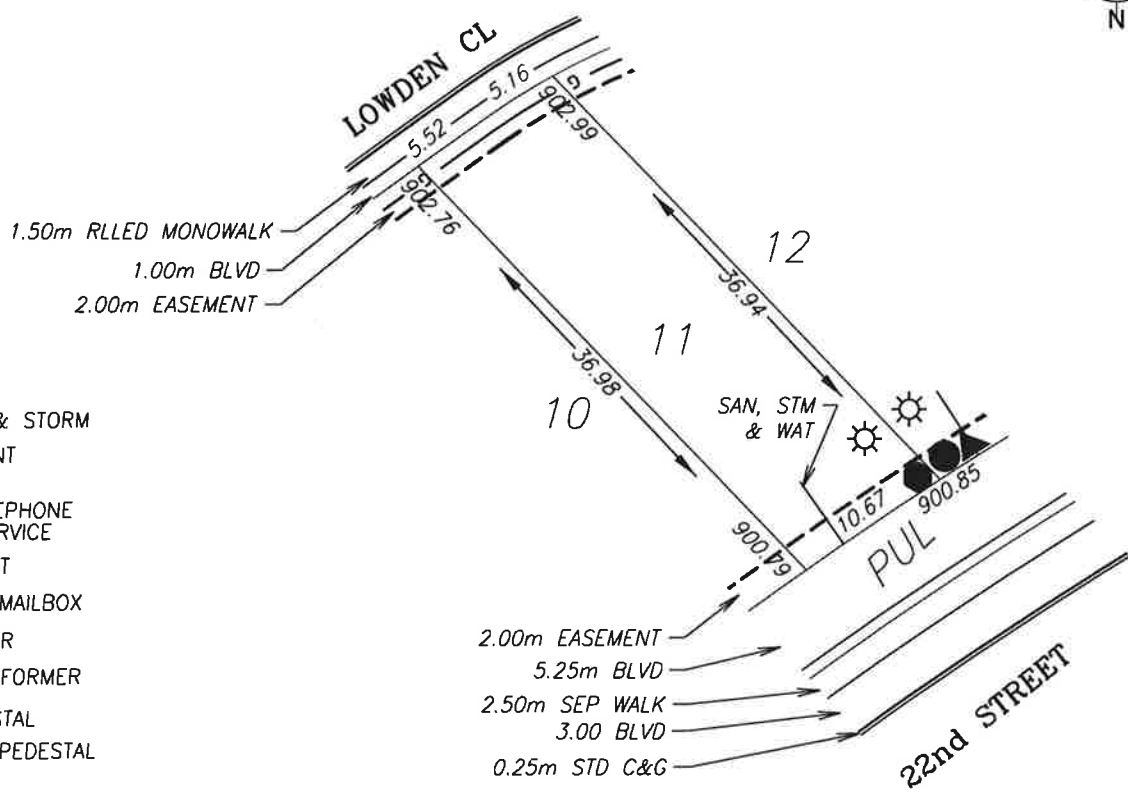
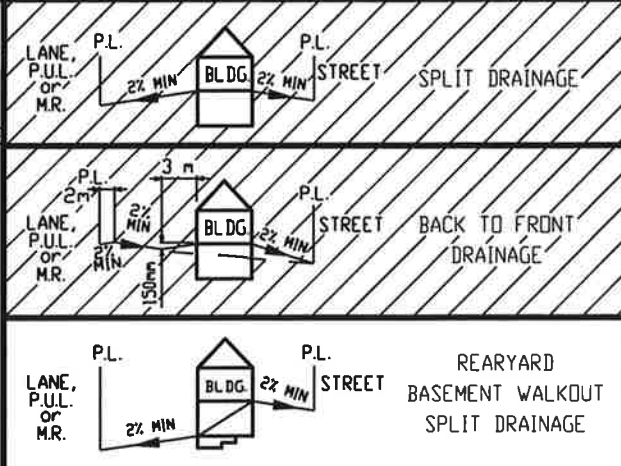
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.06
 ELEV. AT REAR OF HOUSE = 901.09

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ⊙ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ⊙ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

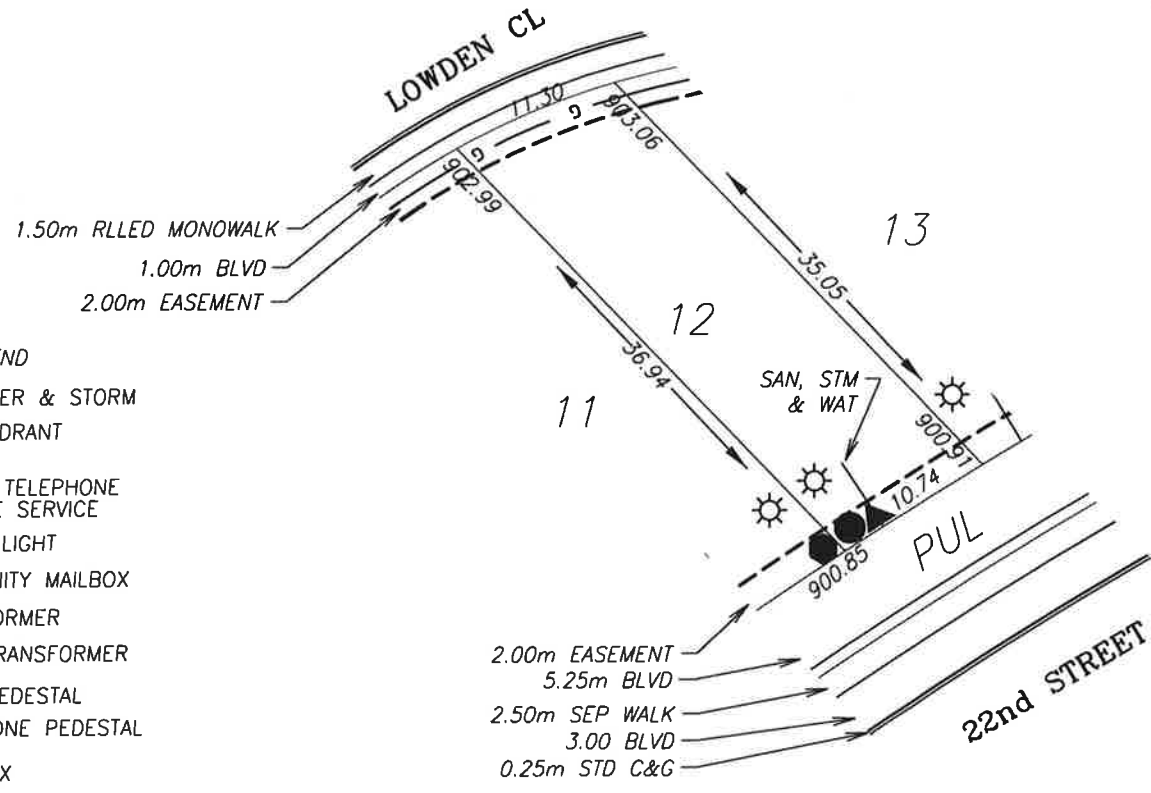
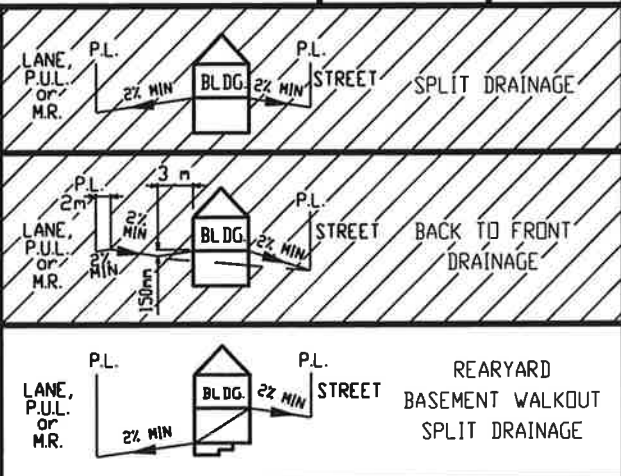
POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|---|---|
| TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>4.28</u> LOWEST ELEVATION = <u>898.68</u> | CIVIC ADDRESS: <u>37 LOWDEN CL</u> LOT: <u>11</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____ |
| AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>897.83</u> STORM AT 5.0m INSIDE LOT = <u>897.83</u> | I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____ |
| DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>903.29</u> ELEV. AT REAR OF HOUSE = <u>901.15</u> | |

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ⊙ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ⊙ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.36
 LOWEST ELEVATION = 898.67

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.82
 STORM AT 5.0m INSIDE LOT = 897.82

CIVIC ADDRESS: 41 LOWDEN CL
 LOT: 12 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.36
 ELEV. AT REAR OF HOUSE = 901.21

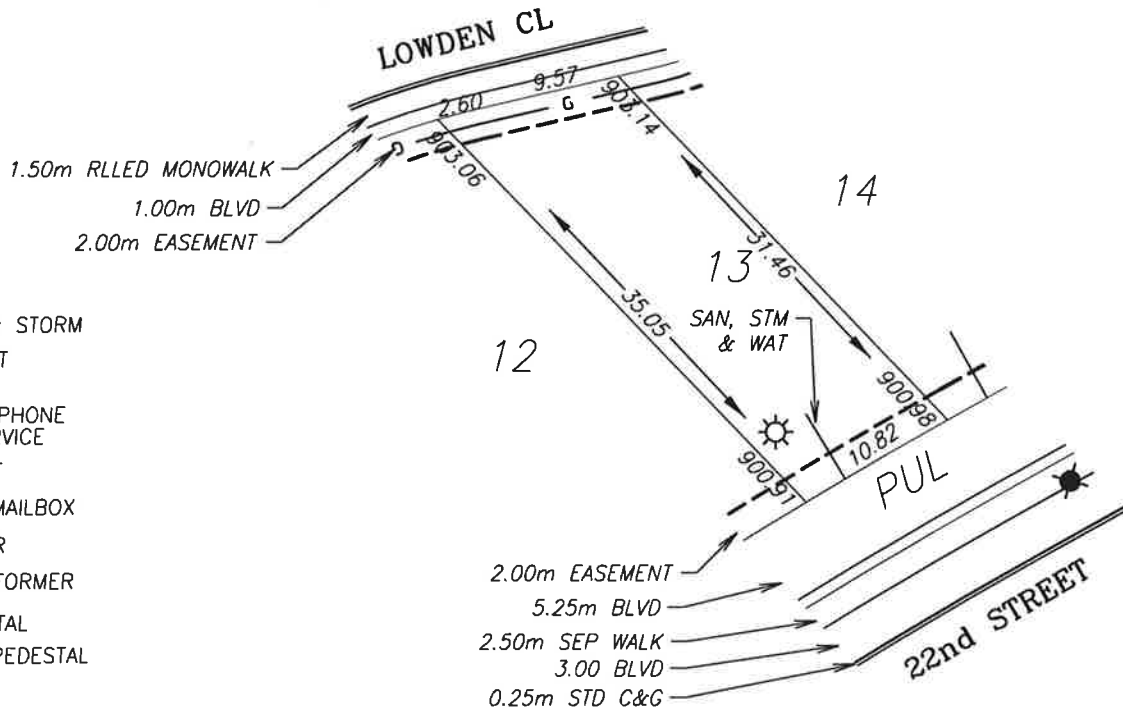
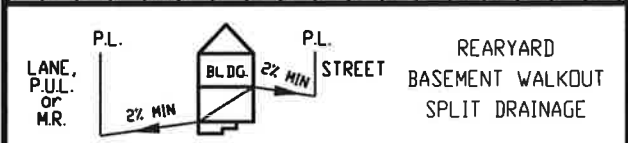
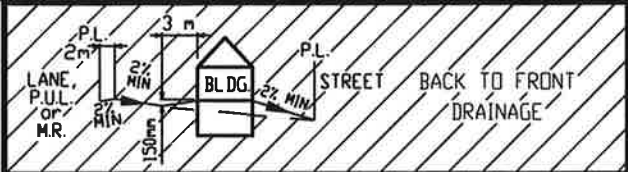
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

- WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
- STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
- ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
- ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
- THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
- IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ⦿ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| |
|---|
| TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>4.46</u> LOWEST ELEVATION = <u>898.64</u> |
| AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>897.79</u> STORM AT 5.0m INSIDE LOT = <u>897.79</u> |

| |
|---|
| CIVIC ADDRESS: <u>45 LOWDEN CL</u> |
| LOT: <u>13</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> |
| DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> |
| DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> |
| APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> |
| RECEIVED BY: _____ DATE: _____ |

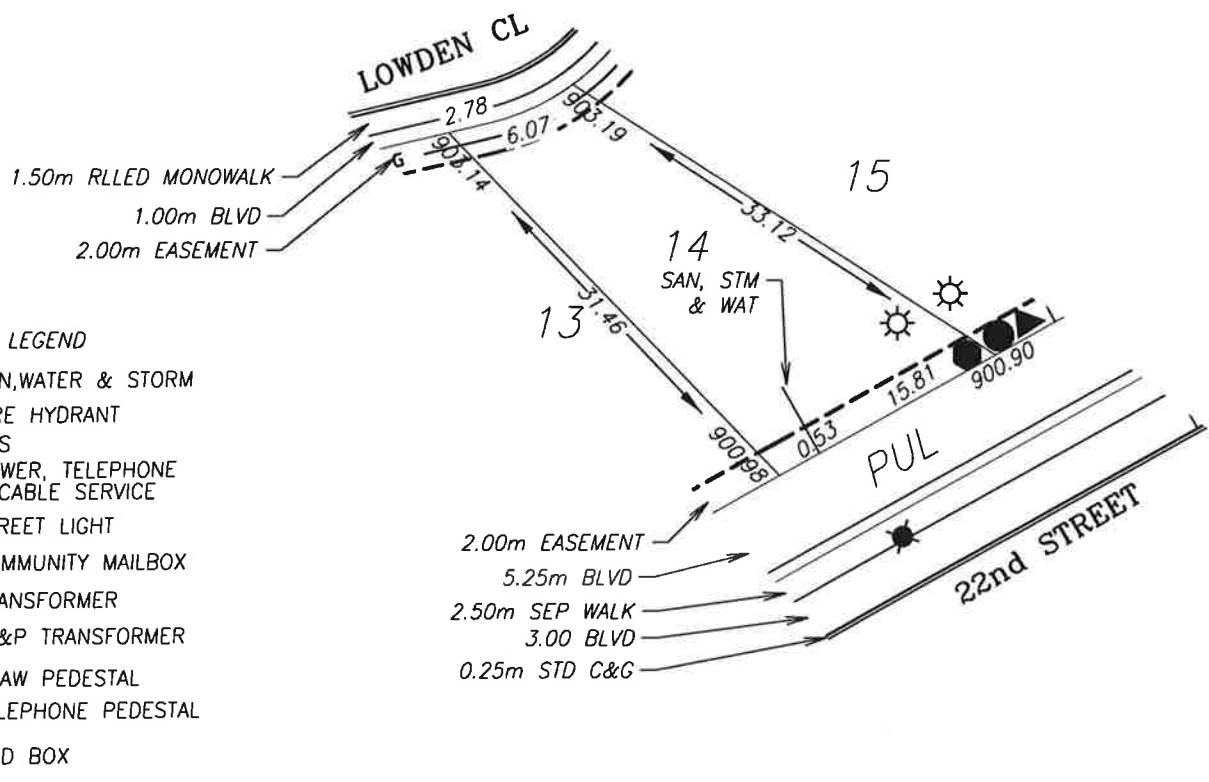
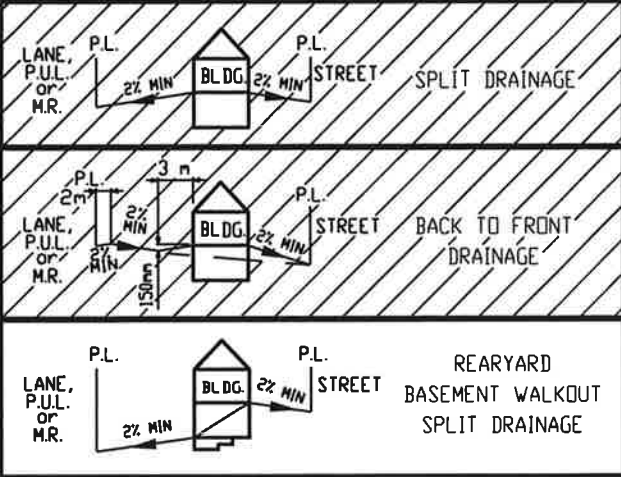
| |
|---|
| DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>903.44</u> ELEV. AT REAR OF HOUSE = <u>901.28</u> |
|---|

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ☼ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.0m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.54
 LOWEST ELEVATION = 898.63

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.78
 STORM AT 5.0m INSIDE LOT = 897.78

CIVIC ADDRESS: 49 LOWDEN CL
 LOT: 14 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

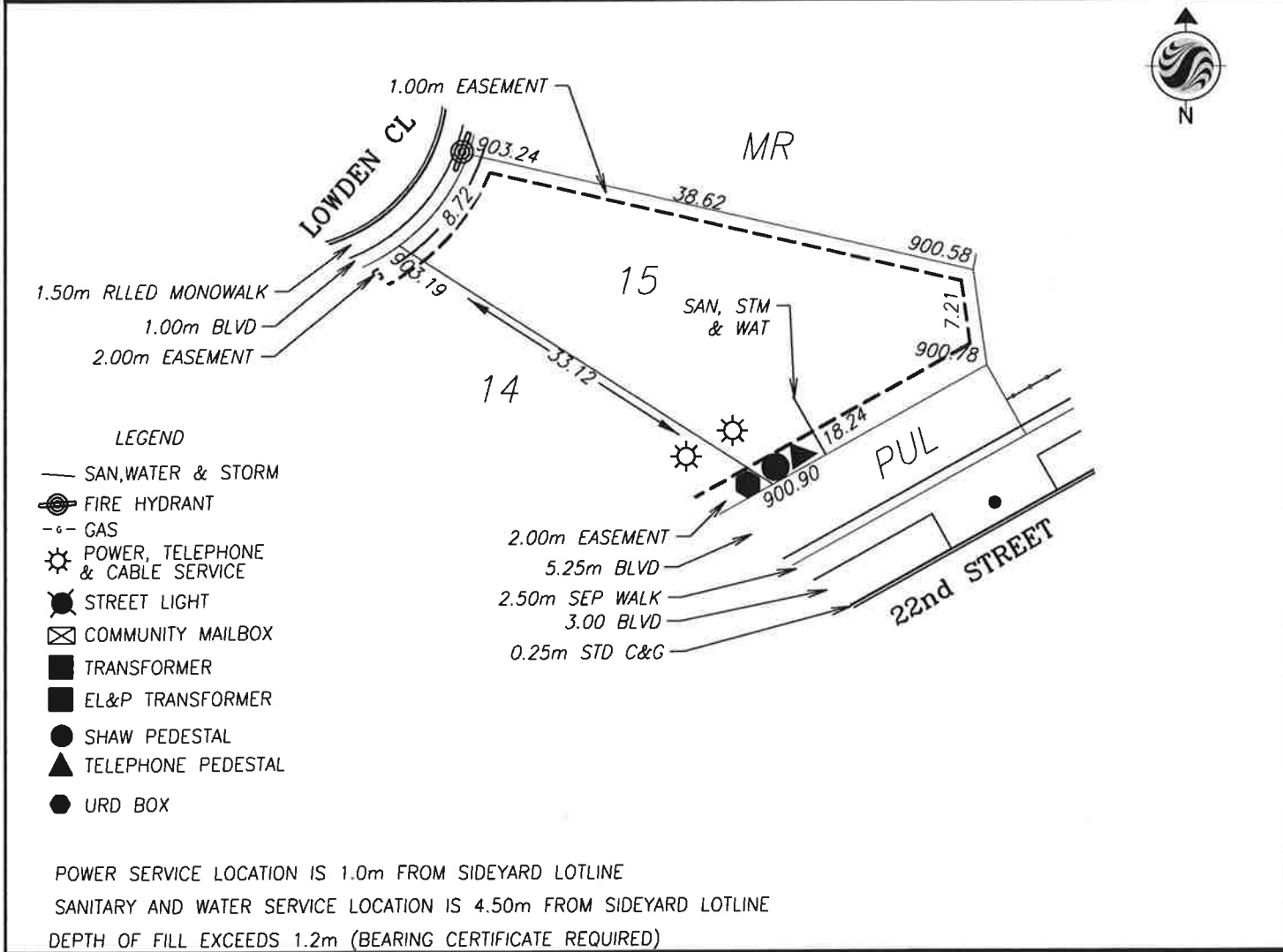
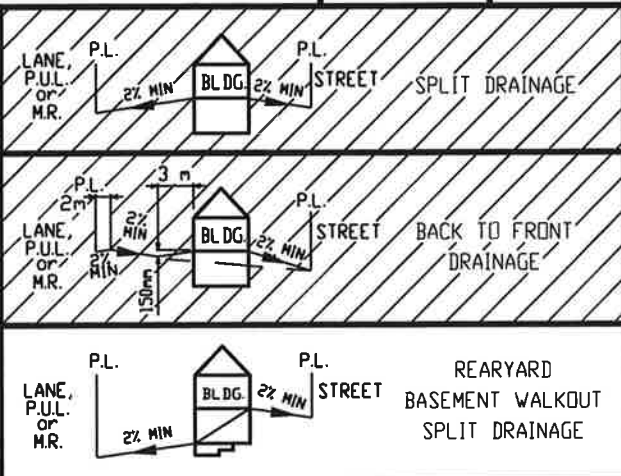
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.49
 ELEV. AT REAR OF HOUSE = 901.20

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.55
 LOWEST ELEVATION = 898.67

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.82
 STORM AT 5.0m INSIDE LOT = 897.82

CIVIC ADDRESS: 53 LOWDEN CL
 LOT: 15 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.54
 ELEV. AT REAR OF HOUSE = 901.20

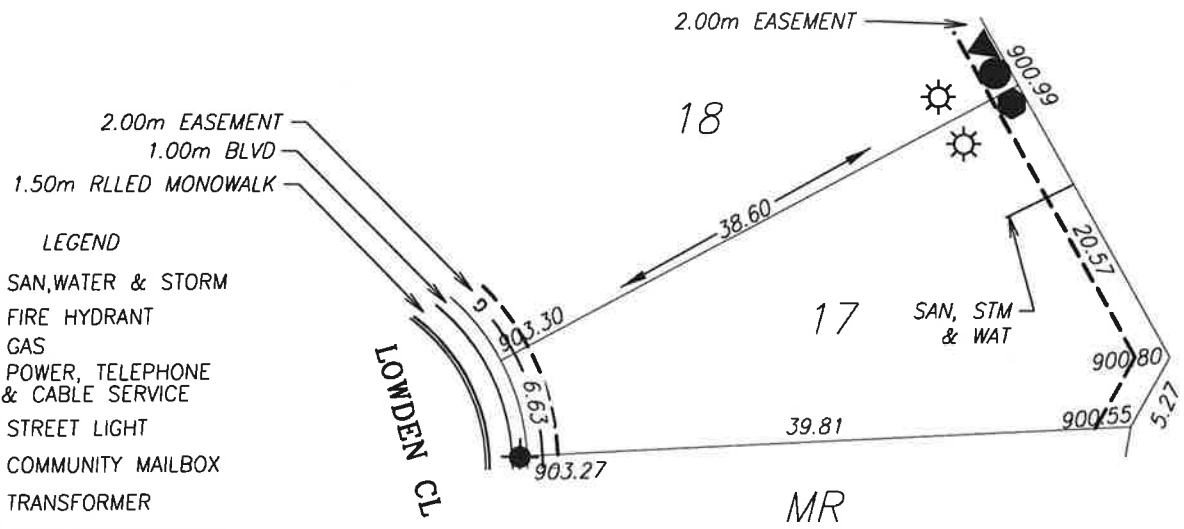
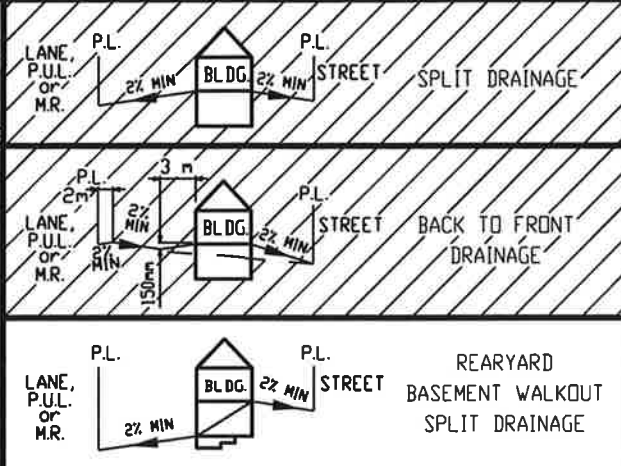
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
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6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ☼ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

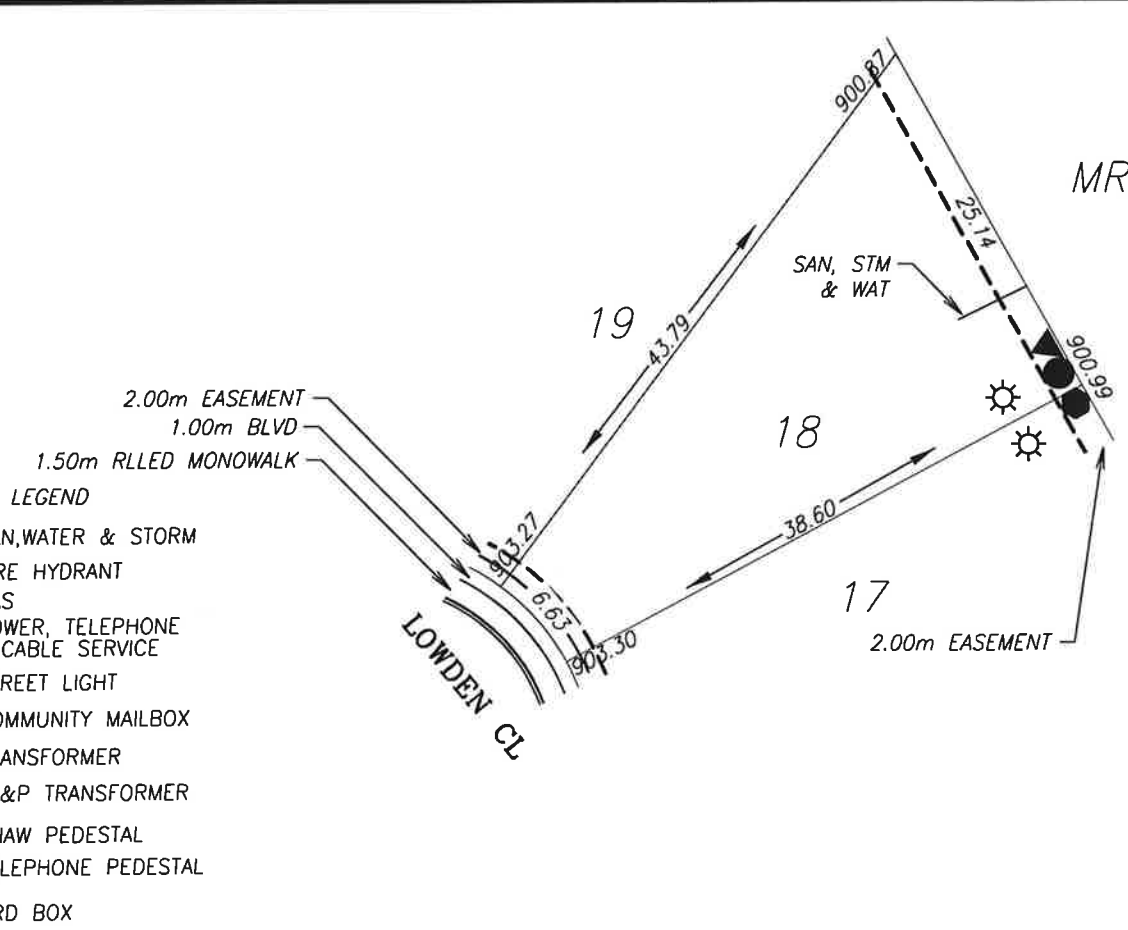
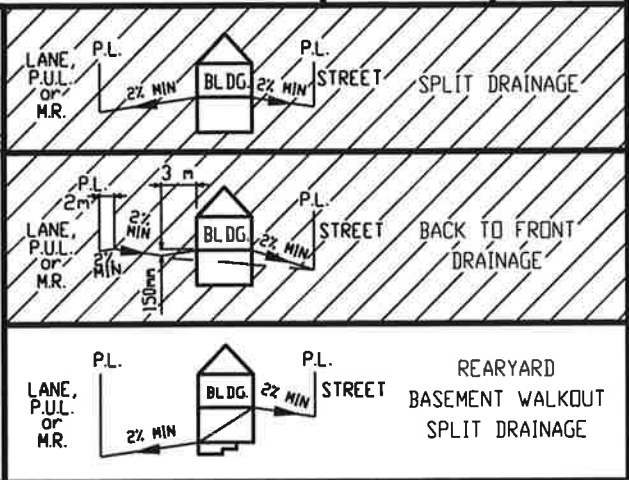
POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 7.50m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|---|---|
| TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>4.82</u> LOWEST ELEVATION = <u>898.46</u> | CIVIC ADDRESS: <u>57 LOWDEN CL</u> LOT: <u>17</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____ |
| AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>897.61</u> STORM AT 5.0m INSIDE LOT = <u>897.61</u> | I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____ |
| DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>903.60</u> ELEV. AT REAR OF HOUSE = <u>901.29</u> | |

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
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6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- 2.00m EASEMENT
 1.00m BLVD
 1.50m RILLED MONOWALK
- LEGEND
- SAN, WATER & STORM
 - ⊙ FIRE HYDRANT
 - - - GAS
 - ☼ POWER, TELEPHONE & CABLE SERVICE
 - ⊙ STREET LIGHT
 - ⊠ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 7.50m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

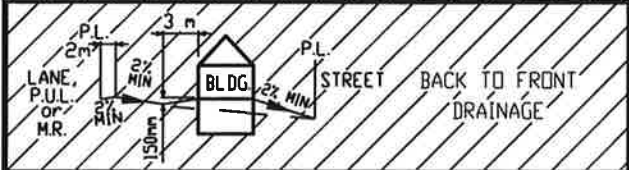
| | |
|--|--|
| TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>4.91</u> LOWEST ELEVATION = <u>898.38</u> | CIVIC ADDRESS: <u>62 LOWDEN CL</u> LOT: <u>18</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____ |
| AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>897.53</u> STORM AT 5.0m INSIDE LOT = <u>897.53</u> | I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____ |
| DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>903.60</u> ELEV. AT REAR OF HOUSE = <u>901.29</u> | |

BUILDING GRADE CERTIFICATE

City of Red Deer

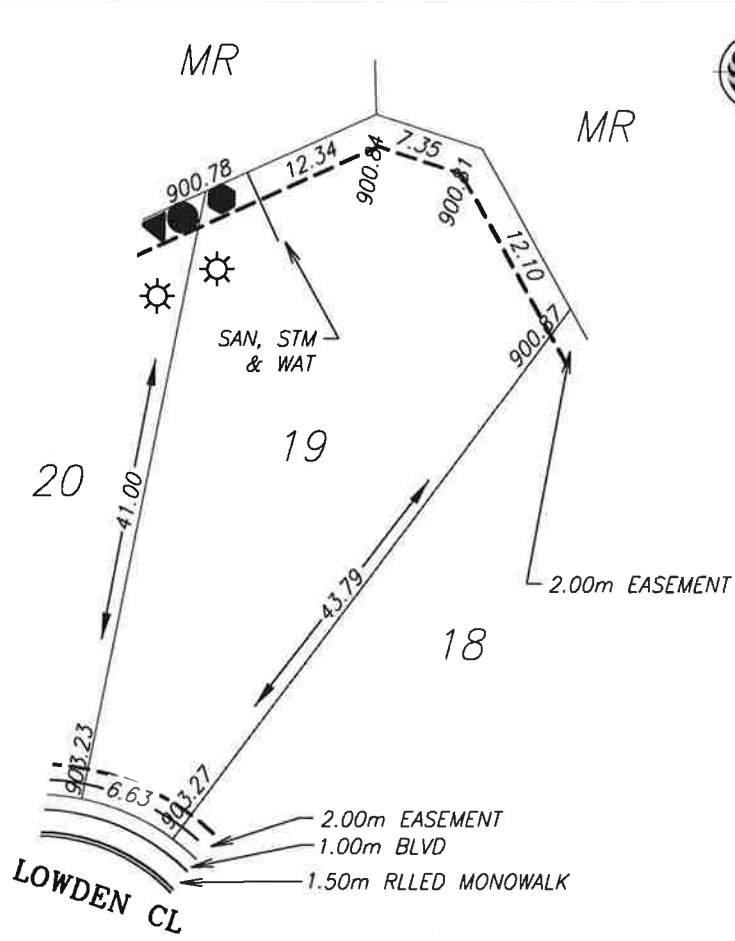
Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX



POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.58
 LOWEST ELEVATION = 898.67

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.82
 STORM AT 5.0m INSIDE LOT = 897.82

CIVIC ADDRESS: 58 LOWDEN CL
 LOT: 19 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

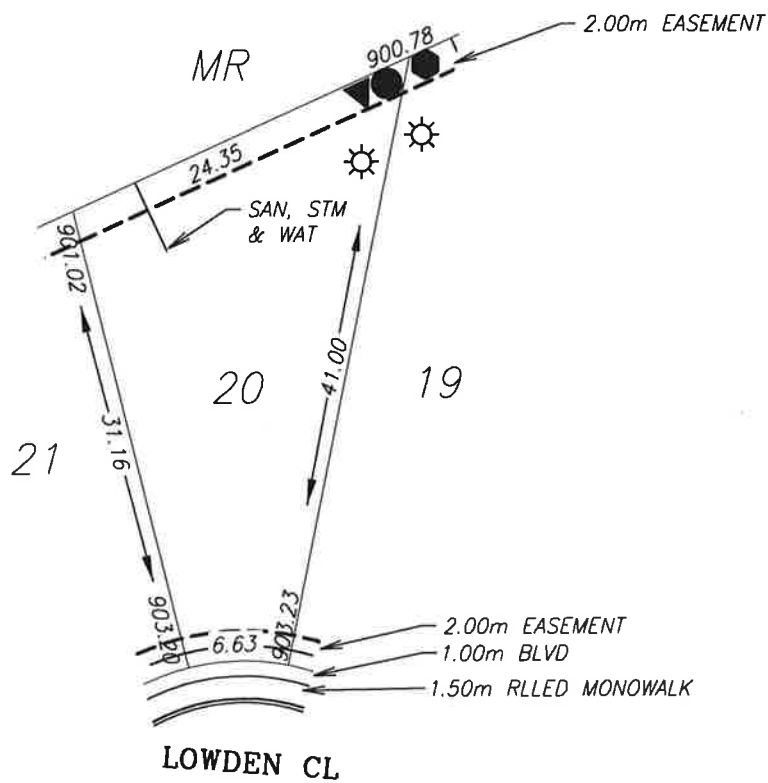
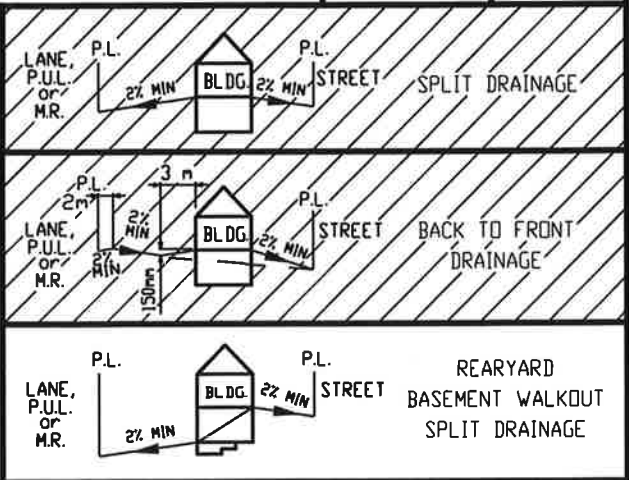
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.57
 ELEV. AT REAR OF HOUSE = 901.17

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 4.50m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|-------------------------------------|--------|
| TOP OF FOOTING: | |
| MAX. DEPTH BELOW AVERAGE SIDEWALK = | 4.41 |
| LOWEST ELEVATION = | 898.81 |

| | |
|--|--------|
| AS-BUILT SEWER INVERT ELEVATIONS: | |
| SANITARY AT 5.0m INSIDE LOT = | 897.96 |
| STORM AT 5.0m INSIDE LOT = | 897.96 |

| | |
|------------------------------------|--------|
| DESIGN LANDSCAPE ELEVATIONS | |
| ELEV. AT FRONT OF HOUSE = | 903.53 |
| ELEV. AT REAR OF HOUSE = | 901.32 |

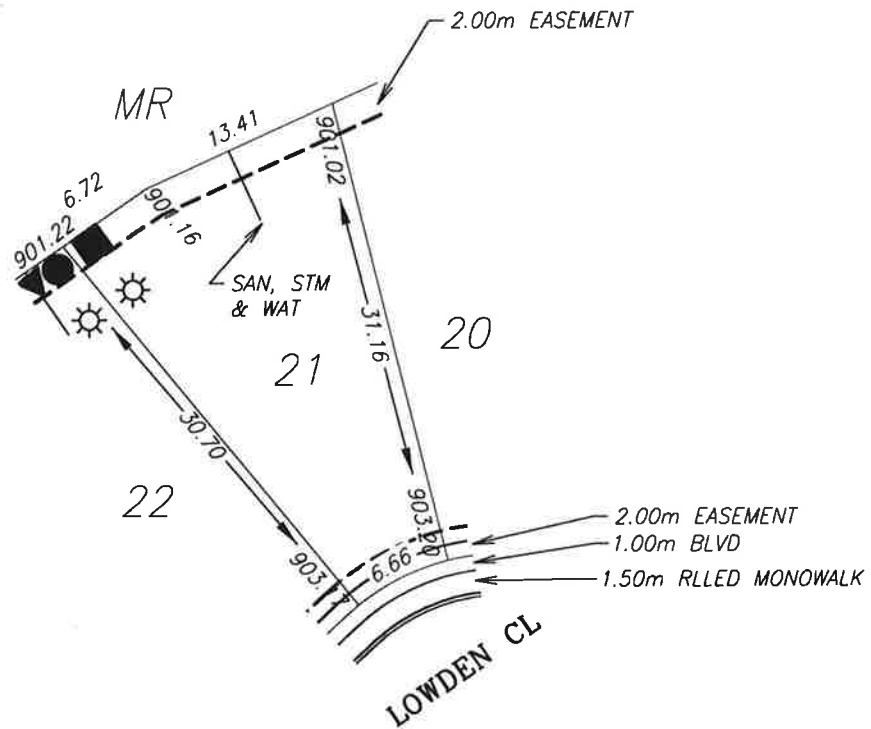
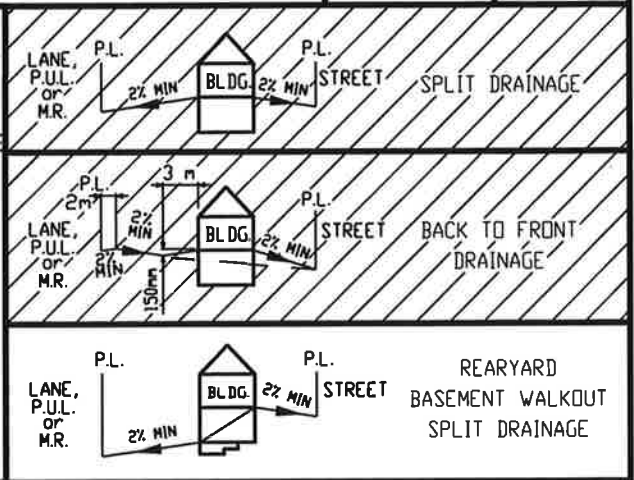
| | | | |
|-----------------------|------------------------|---------------|--------------|
| CIVIC ADDRESS: | 54 LOWDEN CL | | |
| LOT: | 20 | BLOCK: | 4 |
| PLAN No.: | 132 4102 | | |
| DEVELOPER: | MELCOR DEVELOPMENTS | SCALE: | 1:500 |
| DRAWN BY: | STANTEC CONSULTING LTD | DATE: | Sep 26, 2013 |
| APPROVED BY: | KERRY SAUNDERS | DATE: | Sep 27, 2013 |
| RECEIVED BY: | DATE: _____ | | |

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 7.50m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

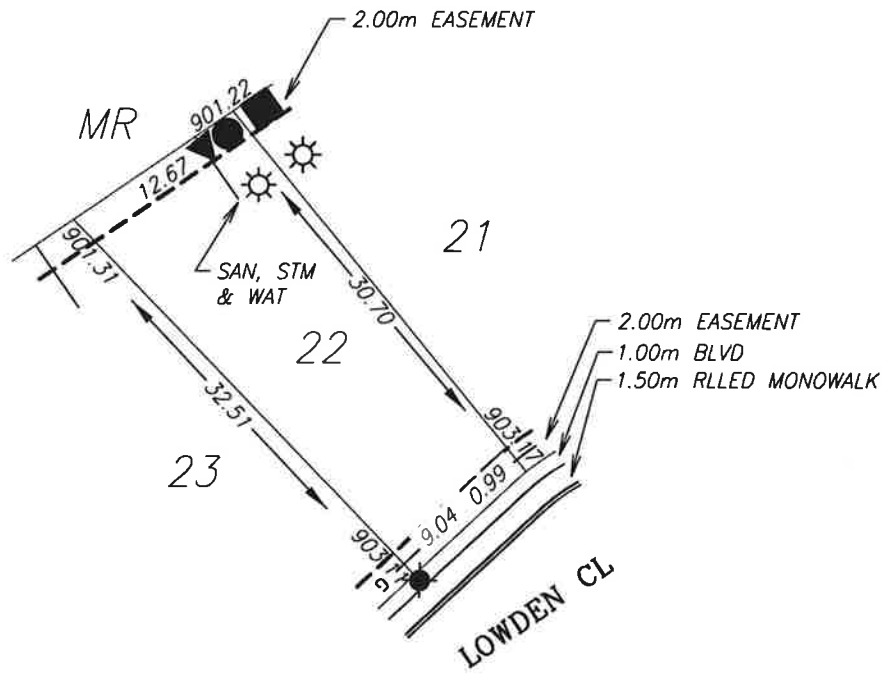
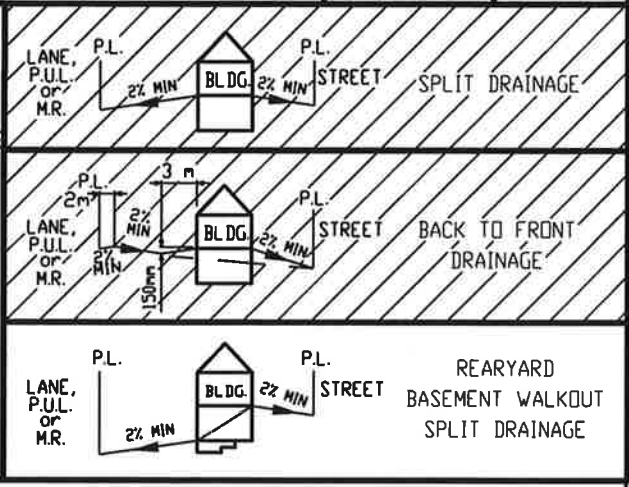
| | |
|---|---|
| <p>TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>4.37</u> LOWEST ELEVATION = <u>898.81</u></p> | <p>CIVIC ADDRESS: <u>50 LOWDEN CL</u> LOT: <u>21</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____</p> |
| <p>AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>897.96</u> STORM AT 5.0m INSIDE LOT = <u>897.96</u></p> | <p>I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____</p> |
| <p>DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>903.50</u> ELEV. AT REAR OF HOUSE = <u>901.52</u></p> | |

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 4.05
 LOWEST ELEVATION = 899.09

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.24
 STORM AT 5.0m INSIDE LOT = 898.24

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.47
 ELEV. AT REAR OF HOUSE = 901.61

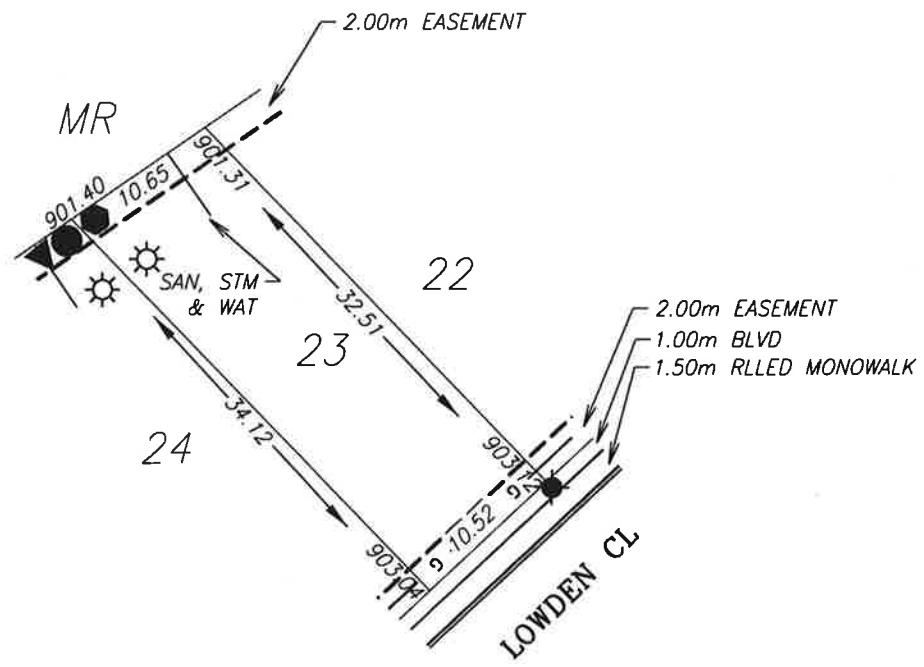
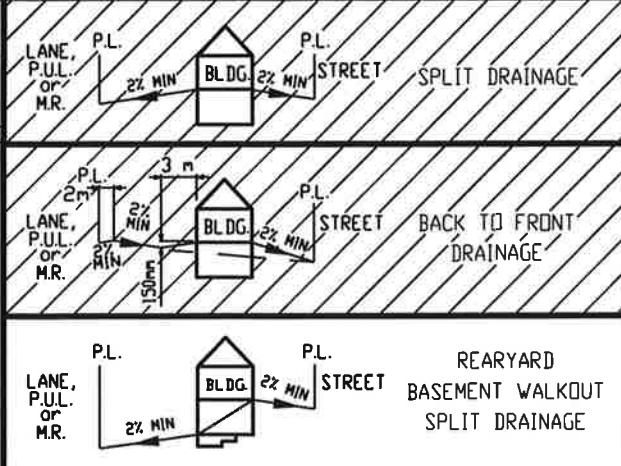
CIVIC ADDRESS: 46 LOWDEN CL
 LOT: 22 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ⦿ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.89
 LOWEST ELEVATION = 899.19

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.34
 STORM AT 5.0m INSIDE LOT = 898.34

CIVIC ADDRESS: 42 LOWDEN CL
 LOT: 23 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

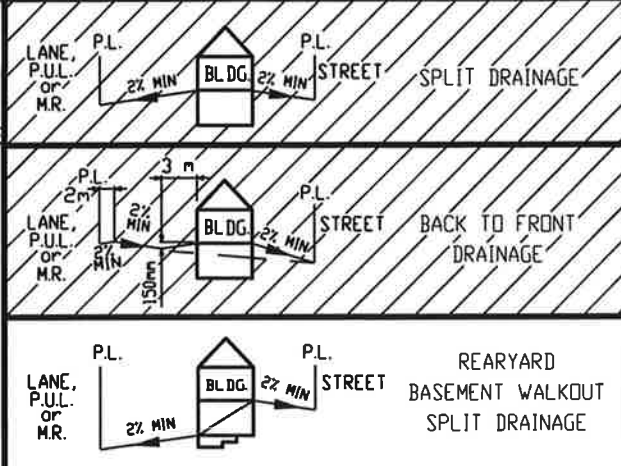
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.41
 ELEV. AT REAR OF HOUSE = 901.70

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

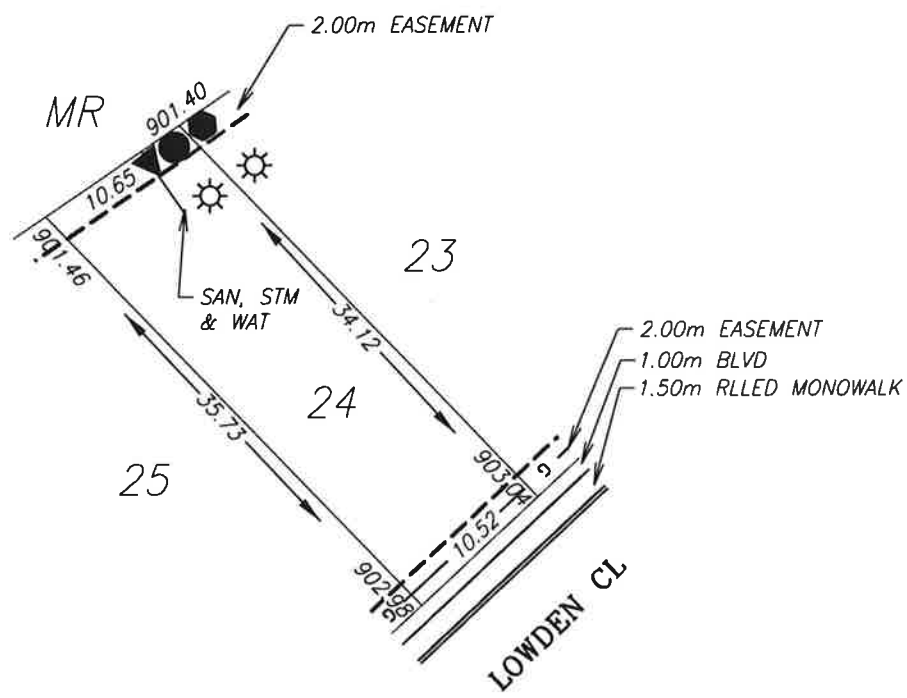
BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☼ POWER, TELEPHONE & CABLE SERVICE
 - ☼ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX



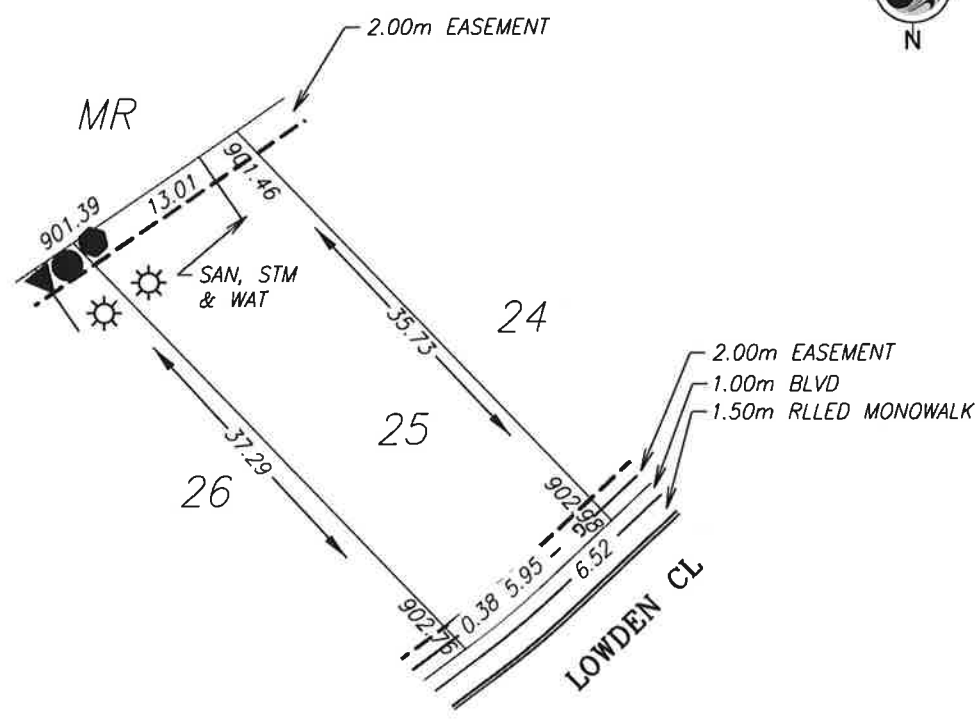
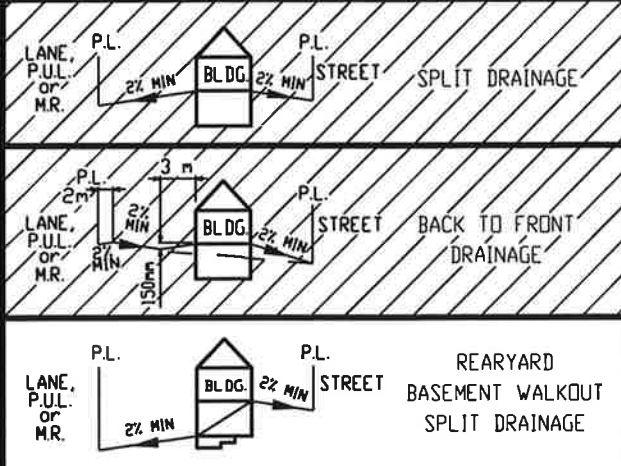
POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|--|--|
| <p>TOP OF FOOTING: MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>3.75</u> LOWEST ELEVATION = <u>899.26</u></p> | <p>CIVIC ADDRESS: <u>38 LOWDEN CL</u> LOT: <u>24</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> RECEIVED BY: _____ DATE: _____</p> |
| <p>AS-BUILT SEWER INVERT ELEVATIONS: SANITARY AT 5.0m INSIDE LOT = <u>898.41</u> STORM AT 5.0m INSIDE LOT = <u>898.41</u></p> | <p>I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____ SIGNATURE OF OWNER OR REPRESENTATIVE _____</p> |
| <p>DESIGN LANDSCAPE ELEVATIONS ELEV. AT FRONT OF HOUSE = <u>903.34</u> ELEV. AT REAR OF HOUSE = <u>901.76</u></p> | |

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☼ POWER, TELEPHONE & CABLE SERVICE
 - ☼ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

| | |
|---|---|
| TOP OF FOOTING: | CIVIC ADDRESS: <u>34 LOWDEN CL</u> |
| MAX. DEPTH BELOW AVERAGE SIDEWALK = <u>3.52</u> | LOT: <u>25</u> BLOCK: <u>4</u> PLAN No.: <u>132 4102</u> |
| LOWEST ELEVATION = <u>899.29</u> | DEVELOPER: <u>MELCOR DEVELOPMENTS</u> SCALE: <u>1:500</u> |

| | |
|---|---|
| AS-BUILT SEWER INVERT ELEVATIONS: | DRAWN BY: <u>STANTEC CONSULTING LTD</u> DATE: <u>Sep 26, 2013</u> |
| SANITARY AT 5.0m INSIDE LOT = <u>898.44</u> | APPROVED BY: <u>KERRY SAUNDERS</u> DATE: <u>Sep 27, 2013</u> |
| STORM AT 5.0m INSIDE LOT = <u>898.44</u> | RECEIVED BY: _____ DATE: _____ |

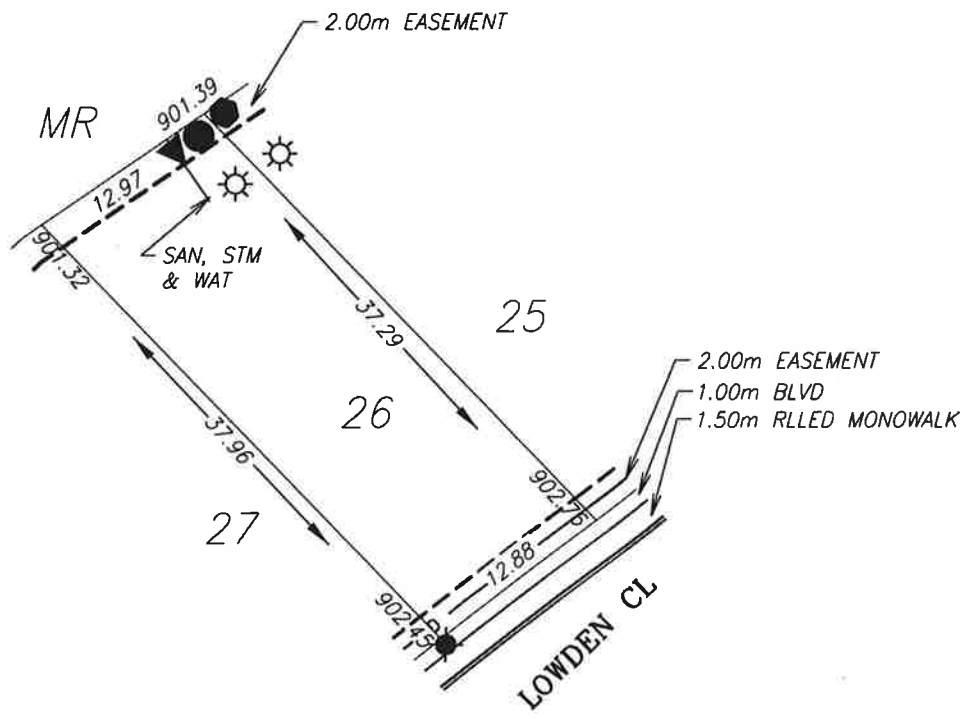
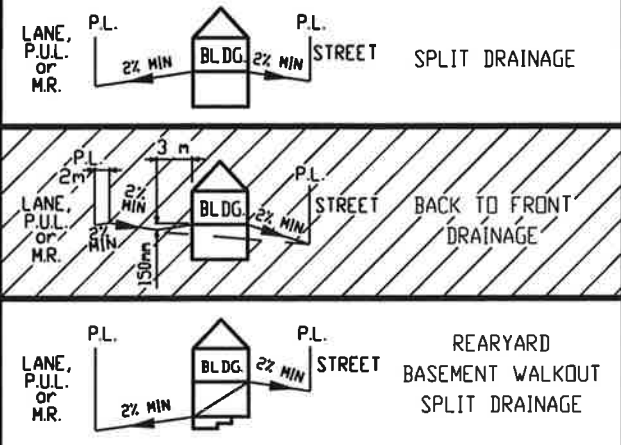
| |
|---|
| DESIGN LANDSCAPE ELEVATIONS |
| ELEV. AT FRONT OF HOUSE = <u>903.28</u> |
| ELEV. AT REAR OF HOUSE = <u>901.76</u> |

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- LEGEND**
- SAN, WATER & STORM
 - ☉ FIRE HYDRANT
 - - - GAS
 - ☀ POWER, TELEPHONE & CABLE SERVICE
 - ☼ STREET LIGHT
 - ☒ COMMUNITY MAILBOX
 - TRANSFORMER
 - EL&P TRANSFORMER
 - SHAW PEDESTAL
 - ▲ TELEPHONE PEDESTAL
 - URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.32
 LOWEST ELEVATION = 899.22

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.37
 STORM AT 5.0m INSIDE LOT = 898.37

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 903.06
 ELEV. AT REAR OF HOUSE = 901.62

CIVIC ADDRESS: 30 LOWDEN CL
 LOT: 26 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

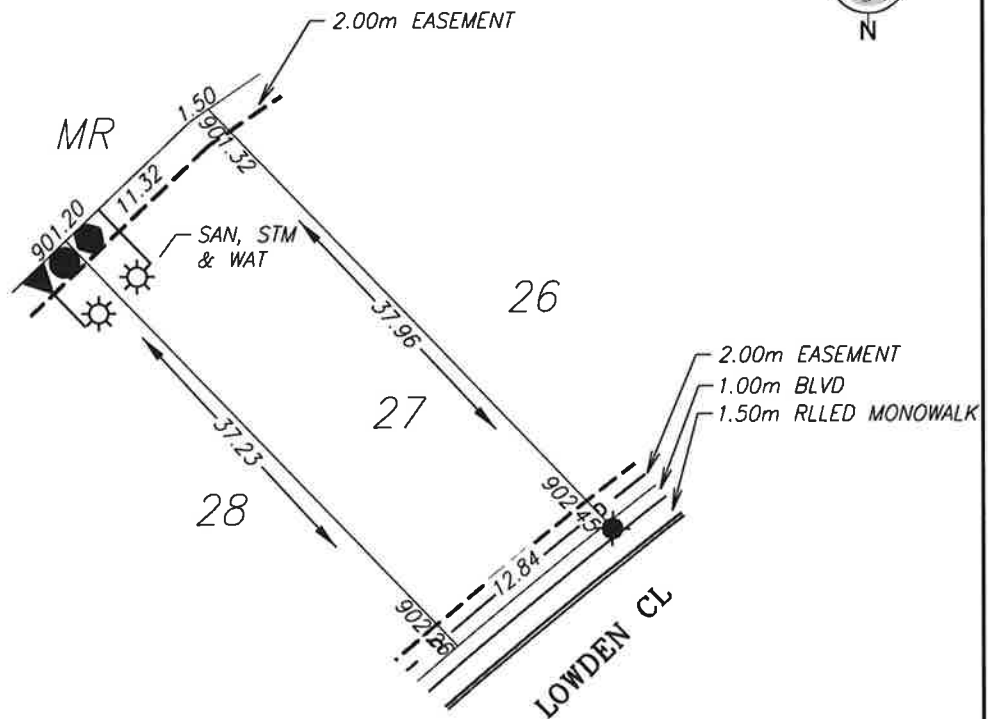
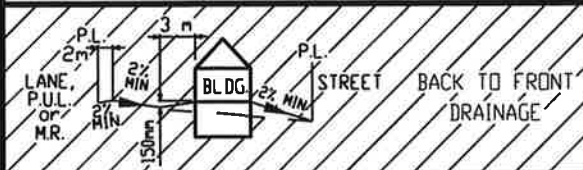
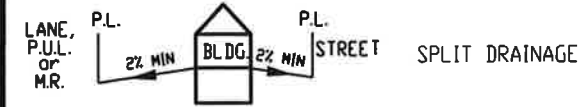
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ⊙ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ⊙ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.11
 LOWEST ELEVATION = 899.25

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.40
 STORM AT 5.0m INSIDE LOT = 898.40

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.75
 ELEV. AT REAR OF HOUSE = 901.62

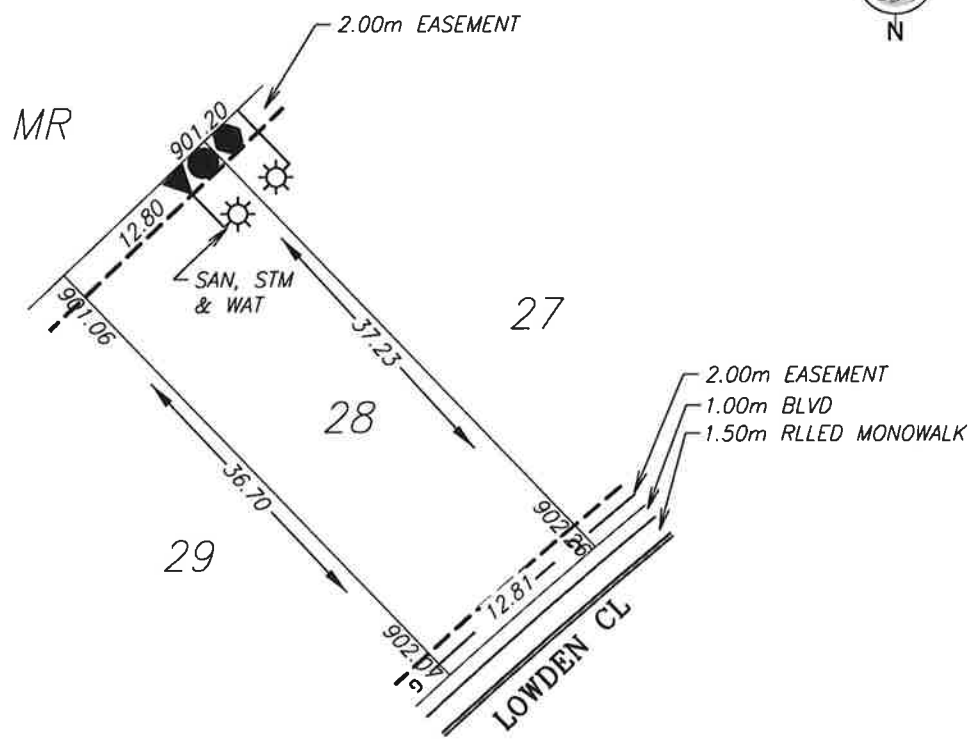
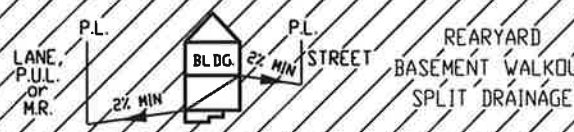
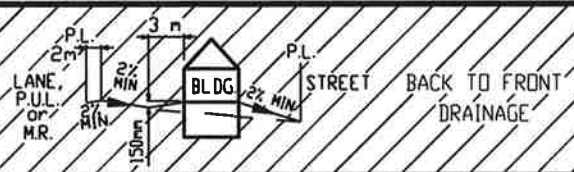
CIVIC ADDRESS: 26 LOWDEN CL
 LOT: 27 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDERYARD LOTLINE
 DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.87
 LOWEST ELEVATION = 899.30

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.45
 STORM AT 5.0m INSIDE LOT = 898.45

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.56
 ELEV. AT REAR OF HOUSE = 901.50

CIVIC ADDRESS: 22 LOWDEN CL
 LOT: 28 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

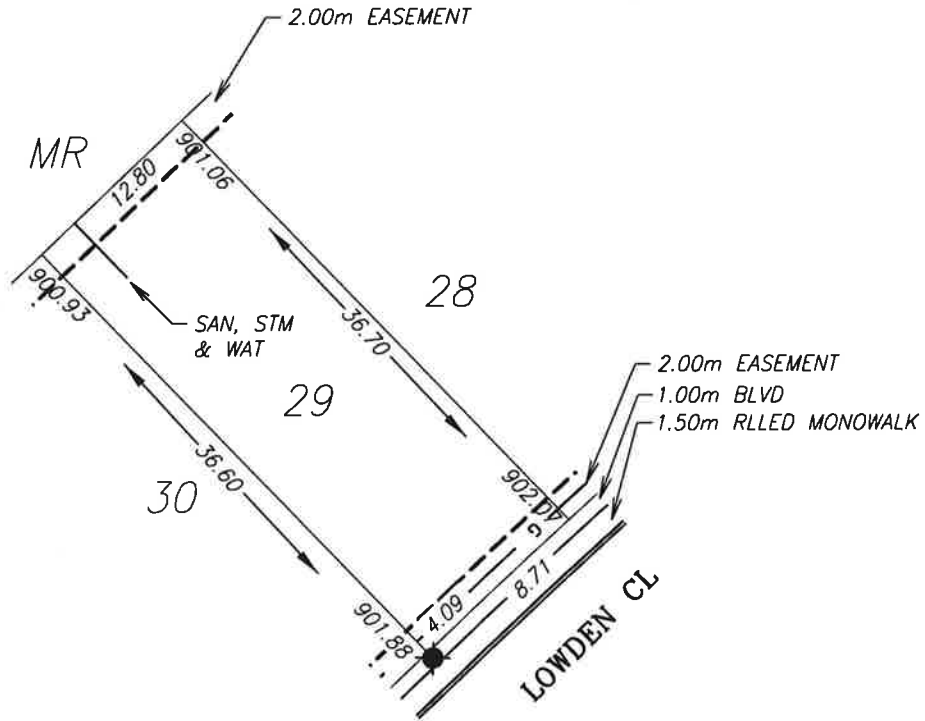
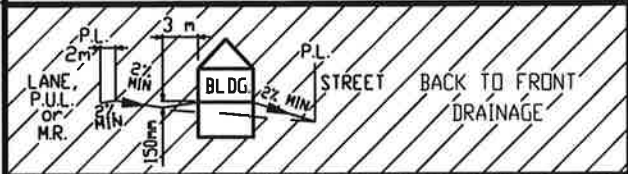
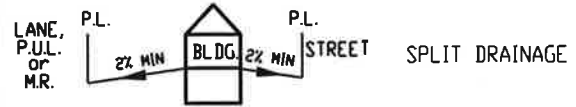
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
5. THE BUILDER MUST CONSTRUCT WITHIN 100mm OF THE DESIGN LANDSCAPE ELEVATION & ILLUSTRATED DRAINAGE PATTERNS UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT OFFICER.
6. IF THE INFORMATION ON THIS CERTIFICATE HAS BEEN PREPARED BY A PRIVATE DEVELOPER OR THEIR AGENT, THE CITY OF RED DEER ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ⦿ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.73
 LOWEST ELEVATION = 899.25

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 898.40
 STORM AT 5.0m INSIDE LOT = 898.40

CIVIC ADDRESS: 18 LOWDEN CL
 LOT: 29 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: DATE:

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.37
 ELEV. AT REAR OF HOUSE = 901.36

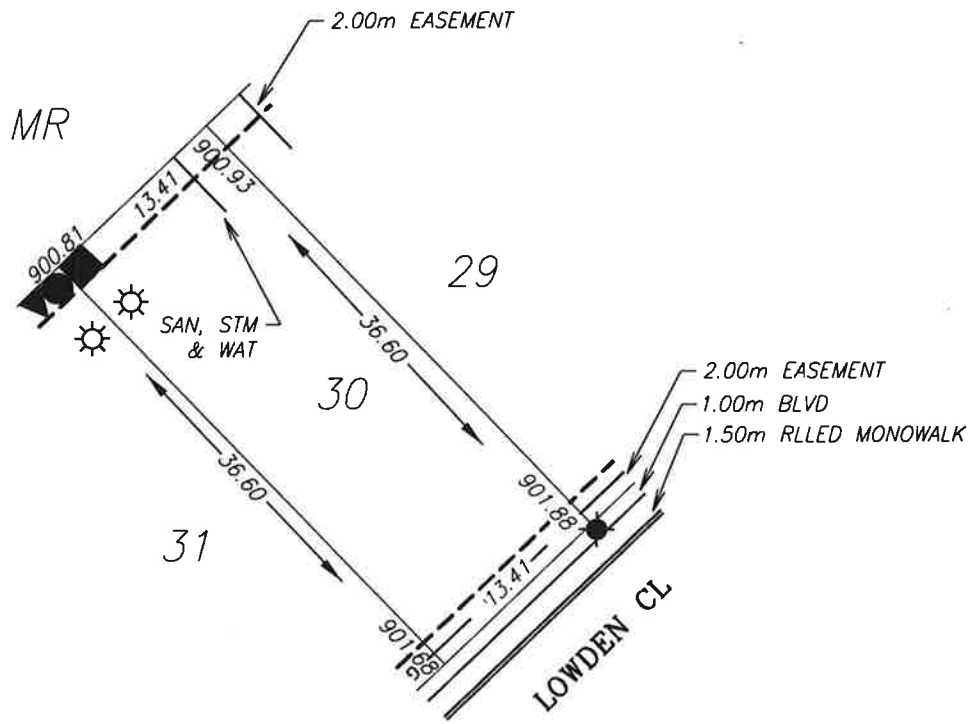
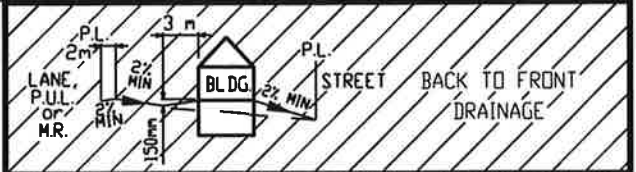
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE; STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
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LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☼ POWER, TELEPHONE & CABLE SERVICE
- ☼ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.09
 LOWEST ELEVATION = 898.69

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.84
 STORM AT 5.0m INSIDE LOT = 897.84

CIVIC ADDRESS: 14 LOWDEN CL
 LOT: 30 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: DATE:

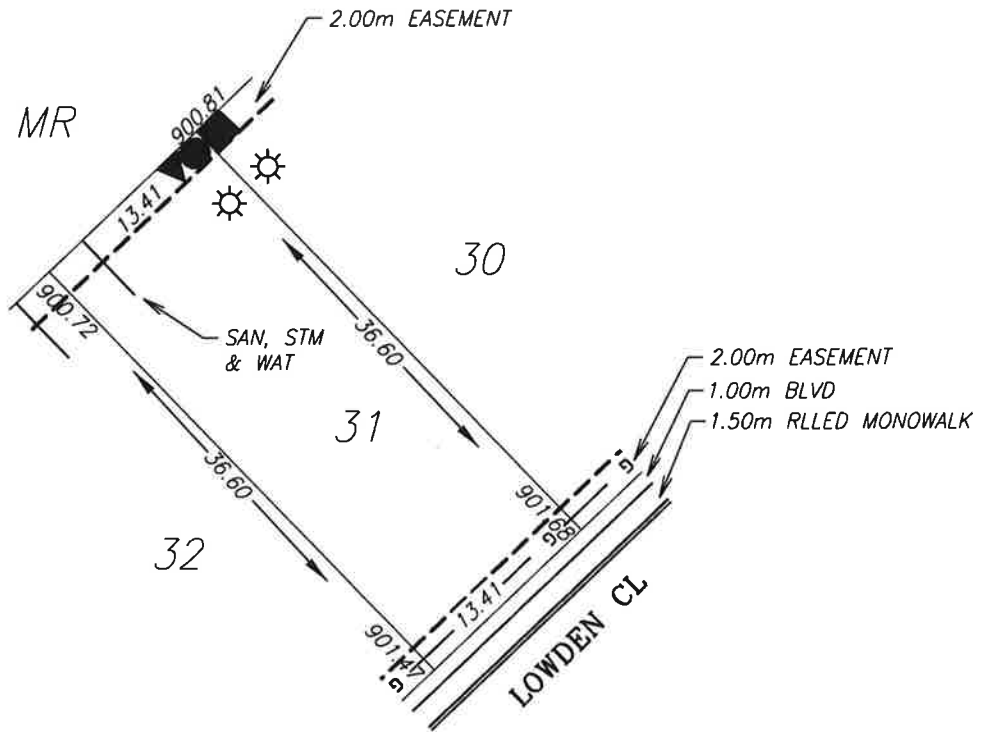
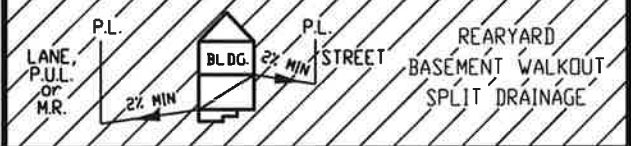
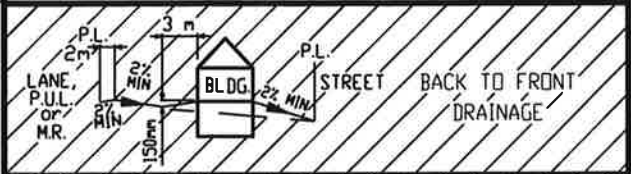
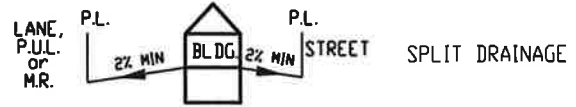
DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 902.18
 ELEV. AT REAR OF HOUSE = 901.23

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: No.

1. WHEN EXCAVATING IN A RIGHT OF WAY (EASEMENT), CHECK FOR UTILITIES.
2. STANDING AT THE WATER SHUTOFF AND FACING THE BUILDING, THE SANITARY SERVICE (PAINTED RED) IS ON THE LEFT SIDE OF THE WATER SERVICE: STORM SERVICE (PAINTED GREEN) IS ON THE RIGHT SIDE OF THE WATER SERVICE.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THERE OF. THE ELEVATIONS ARE IN METRES ABOVE GEODETIC MEAN SEA LEVEL.
4. ELEVATIONS NOTED ON THE CERTIFICATE ARE WITHIN 100mm OF ACTUAL.
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LEGEND

- SAN, WATER & STORM
- ☉ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ☹ STREET LIGHT
- ☒ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 3.03
 LOWEST ELEVATION = 898.55

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.70
 STORM AT 5.0m INSIDE LOT = 897.70

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 901.98
 ELEV. AT REAR OF HOUSE = 900.11

CIVIC ADDRESS: 10 LOWDEN CL
 LOT: 31 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

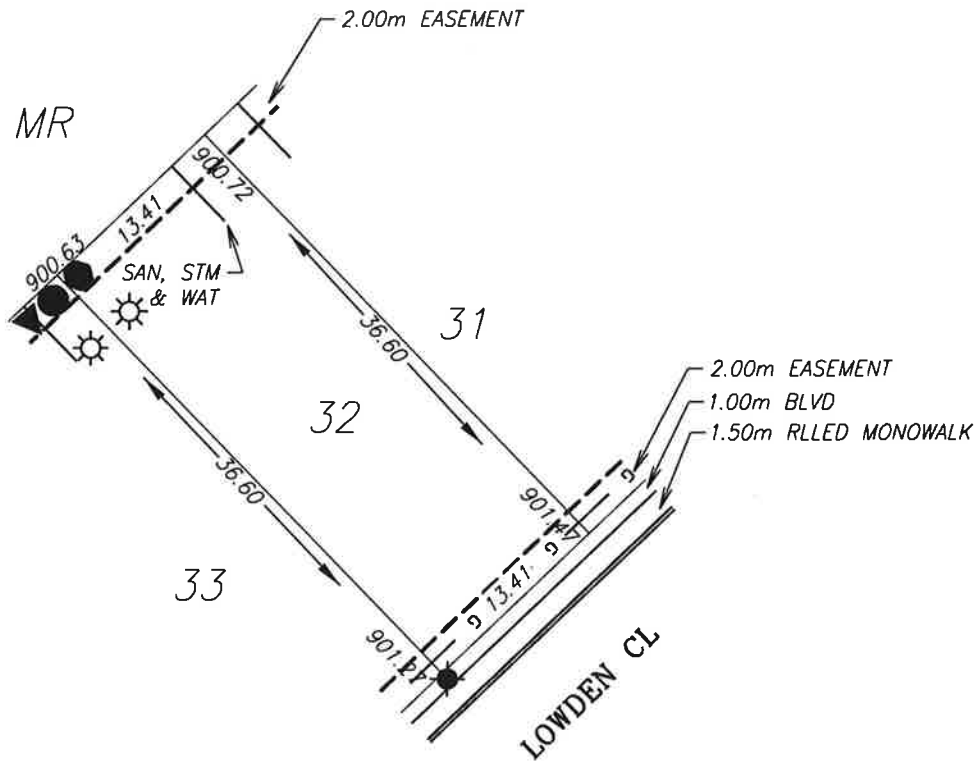
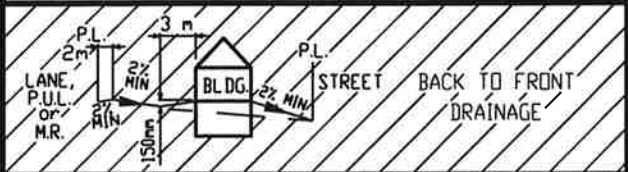
I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____ (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer

Issued by: No.

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LEGEND

- SAN, WATER & STORM
- ⊙ FIRE HYDRANT
- - - GAS
- ☀ POWER, TELEPHONE & CABLE SERVICE
- ⊙ STREET LIGHT
- ⊠ COMMUNITY MAILBOX
- TRANSFORMER
- EL&P TRANSFORMER
- SHAW PEDESTAL
- ▲ TELEPHONE PEDESTAL
- URD BOX

POWER SERVICE LOCATION IS 1.0m FROM SIDERYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDERYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.82
 LOWEST ELEVATION = 898.55

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.70
 STORM AT 5.0m INSIDE LOT = 897.70

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 901.77
 ELEV. AT REAR OF HOUSE = 901.02

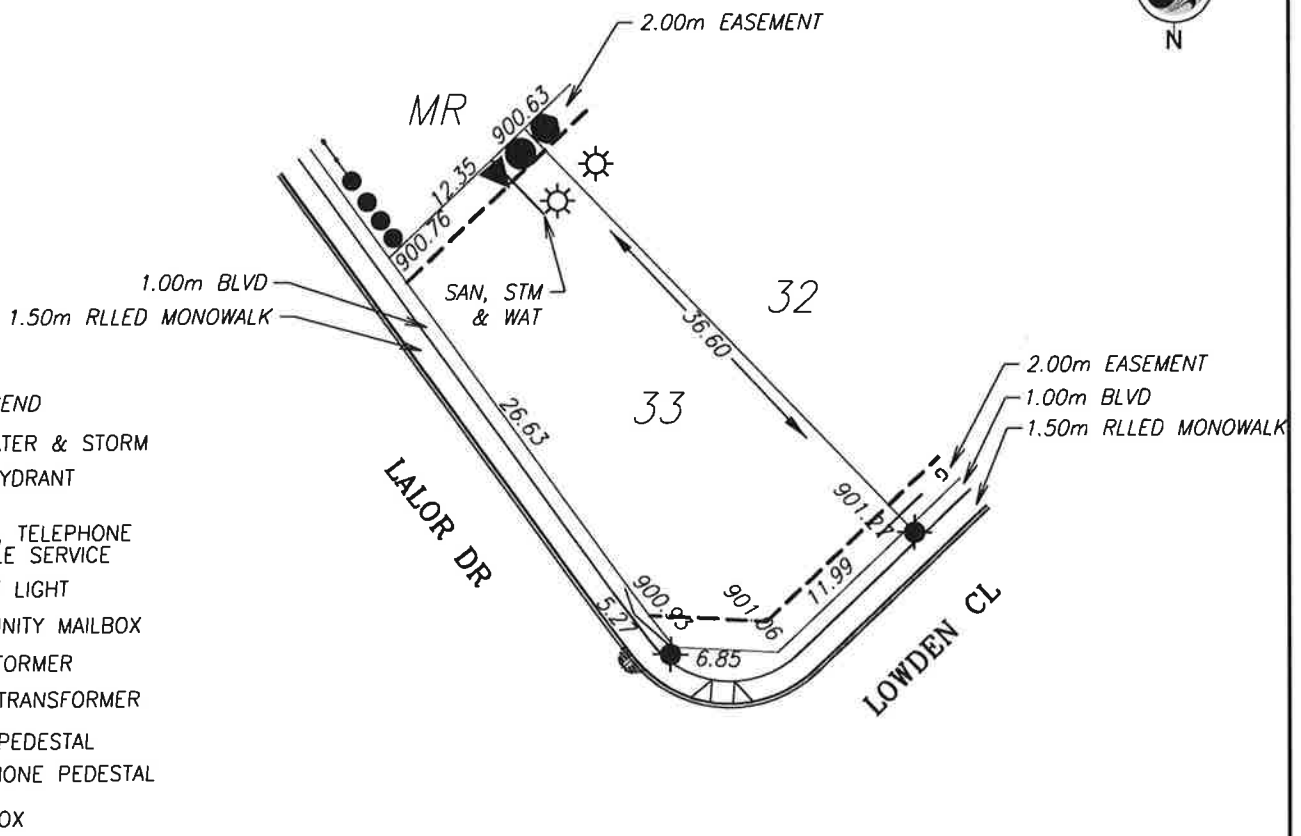
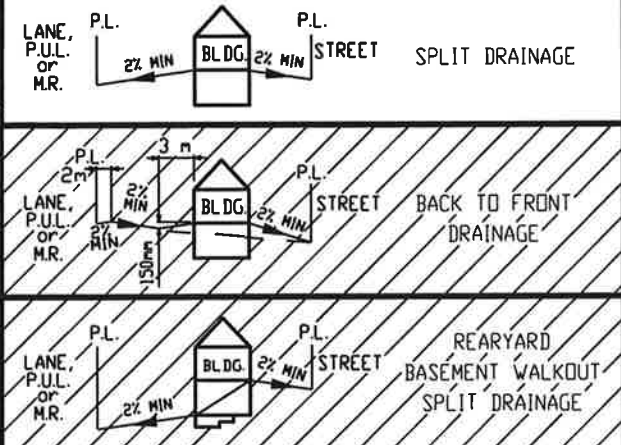
CIVIC ADDRESS: 6 LOWDEN CL
 LOT: 32 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____

BUILDING GRADE CERTIFICATE

City of Red Deer
 Issued by: _____ No. _____

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POWER SERVICE LOCATION IS 1.0m FROM SIDEYARD LOTLINE
 SANITARY AND WATER SERVICE LOCATION IS 3.00m FROM SIDEYARD LOTLINE

TOP OF FOOTING:
 MAX. DEPTH BELOW AVERAGE SIDEWALK = 2.53
 LOWEST ELEVATION = 898.56

AS-BUILT SEWER INVERT ELEVATIONS:
 SANITARY AT 5.0m INSIDE LOT = 897.71
 STORM AT 5.0m INSIDE LOT = 897.71

CIVIC ADDRESS: 2 LOWDEN CL
 LOT: 33 BLOCK: 4 PLAN No.: 132 4102
 DEVELOPER: MELCOR DEVELOPMENTS SCALE: 1:500
 DRAWN BY: STANTEC CONSULTING LTD DATE: Sep 26, 2013
 APPROVED BY: KERRY SAUNDERS DATE: Sep 27, 2013
 RECEIVED BY: _____ DATE: _____

DESIGN LANDSCAPE ELEVATIONS
 ELEV. AT FRONT OF HOUSE = 901.57
 ELEV. AT REAR OF HOUSE = 901.06

I CERTIFY THAT THE FINAL LANDSCAPE GRADE WILL BE (FRONT) _____
 (REAR) _____
 SIGNATURE OF OWNER OR REPRESENTATIVE _____