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Legend

GRADE AT FRONT PL	980.55	980.50
STREET	↑	
DRIVEWAY		
SERVICE INVERT AT STUB UNLESS OTHERWISE NOTED	S 978.30	
LOWEST TOP OF FOOTING	LTF 979.15	
SUGGESTED MIN. FINISHED LANDSCAPE ELEVATION AT FRONT OF HOUSE	980.90	
SUGGESTED MIN. FINISHED LANDSCAPE ELEVATION AT REAR OF HOUSE	980.90	
ORIGINAL GROUND ELEVATION (PRIOR TO SITE GRADING AT CENTRE OF BUILDING ENVELOPE)	OG 978.40	
SERVICE TYPE	W DW SWS DWS	
LOT TYPE	L	
BLOCK NUMBER		
LOT NUMBER	92	
DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)	*	
CMC ADDRESS	00	
SHALLOW STORM SERVICE CONNECTION REQUIRED	*ST*	
ELEC., TELUS, & SHAW DROPOFF	*	
FRONT SERVICE LOCATION (4.5m FROM PROPERTY LINE UNLESS OTHERWISE NOTED)		
GRADE AT REAR PL OR EDGE OF OVERLAND DRAINAGE R/W (WHERE APPLICABLE)	980.35	980.30

NOTE:  
ALL LOT GRADING MUST BE INCLUDED WITH THE HOUSE DESIGN AND APPROVED BY THE DEVELOPER.

Revision	By	Appd.	YY.MM.DD
D	ISSUED FOR PLAN OF RECORD	ERH	CBG 15.01.14
C	ISSUED FOR CONSTRUCTION	LLG	CBG 14.07.21
B	ISSUED FOR 2ND SUBMISSION	LLG	CBG 14.07.07
A	ISSUED FOR APPROVAL	LM	CG 14.05.16

File Name:	49484c-8GP.dwg	SA	LLG	SA	14.04.24
		Dwn.	Chd.	Dgn.	YY.MM.DD

Permit-Seal

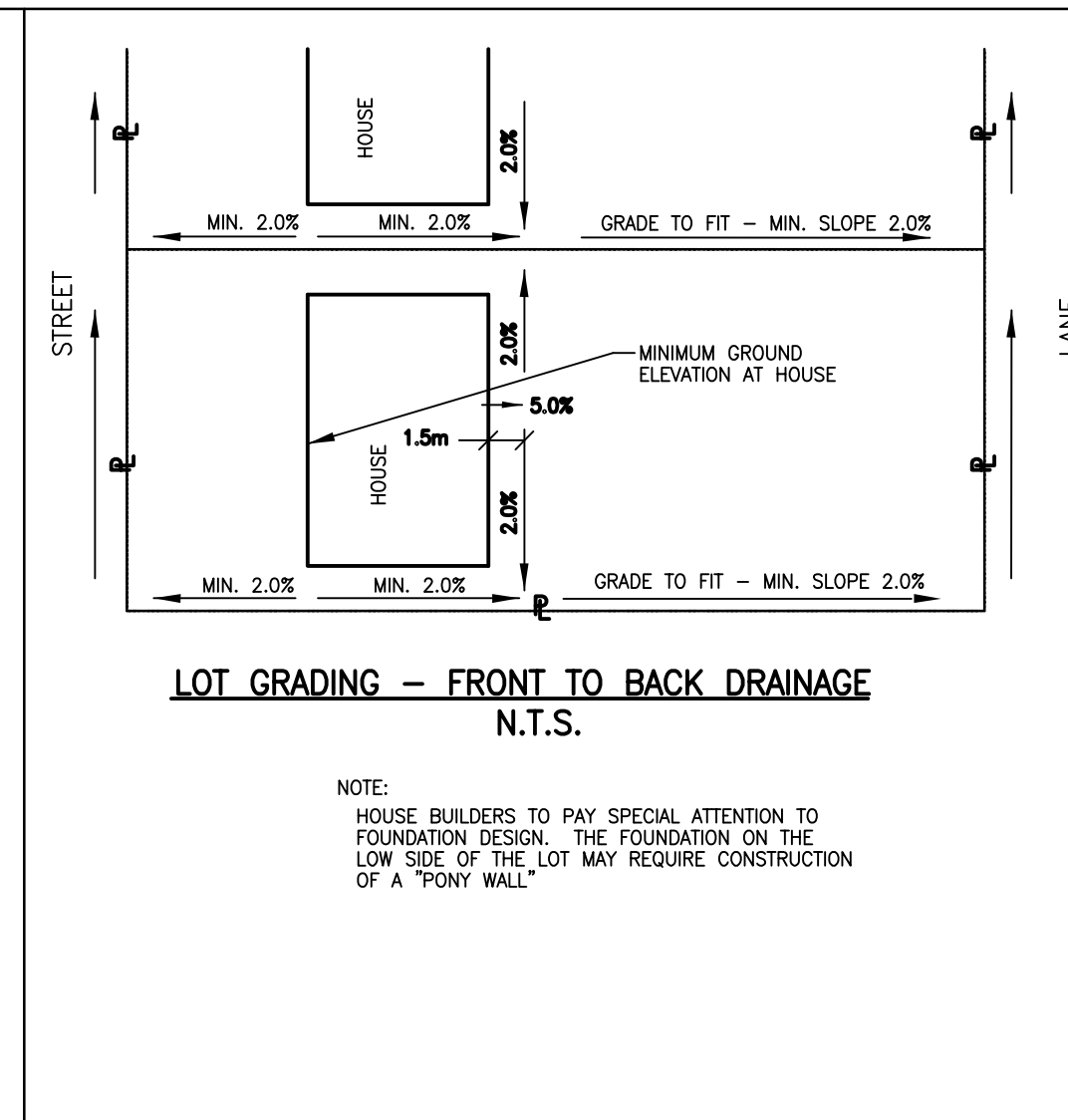
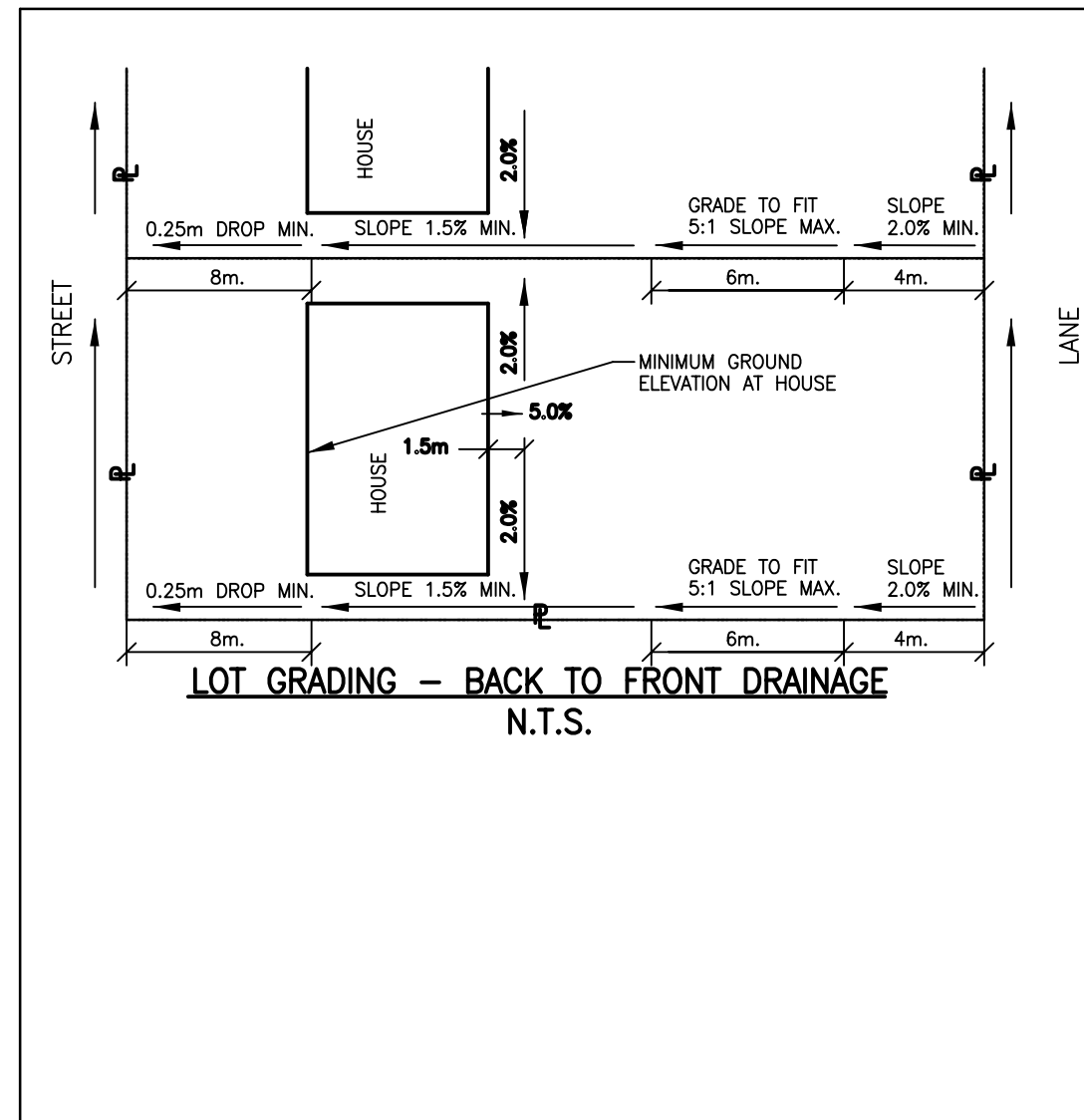
PERMIT TO PRACTICE  
STANTEC CONSULTING LTD.  
ORIGINALLY STAMPED AND SIGNED  
By: *Stacy Jansen* Revision: 6  
Date: 21 July 14 Issue: 6  
PERMIT NUMBER: P 0258  
The Association of Professional Engineers,  
Geologists and Geophysicists of Alberta

*Originally Sealed by  
Stacy Jansen  
On 21 July 14  
Issue: 6  
Revision: 6*

Client/Project  
WHITECAP COMMUNITIES INC.  
  
THE VISTA AT RYDER'S RIDGE  
PHASE 2  
Town of Sylvan Lake, Alberta

Title  
BUILDING GRADE PLAN

Project No.	112849484	Scale	1:500
Drawing No.	Sheet	Revision	



NOTE:  
HOUSE BUILDERS TO PAY SPECIAL ATTENTION TO FOUNDATION DESIGN. THE FOUNDATION ON THE LOW SIDE OF THE LOT MAY REQUIRE CONSTRUCTION OF A 'TINY' WALL.

NOTES

- ALL PLANS SUBJECT TO TERMS OF THE DEVELOPMENT AGREEMENT.
- SAN SERVICES TO BE 150mm DIA SDR-28 PVC
- WATER SERVICES TO BE 25mm DIA PE 3406 UNLESS SHOWN OTHERWISE.
- ALL HOUSE SERVICES TO BE TERMINATED 3.00m PAST UTILITY EASEMENT UNLESS OTHERWISE NOTED.
- LOTS WITH FILL IN EXCESS OF 1.20m REQUIRE SOIL BEARING CERTIFICATES.
- HOUSE BUILDER TO SET ACTUAL TOP OF FOOTINGS AND FINISH LOT LANDSCAPE GRADES SUCH THAT POSITIVE SURFACE DRAINAGE IS MAINTAINED AWAY FROM THE HOUSE FOUNDATION WALL TOWARD THE STREET OR REAR LOT DRAINAGE FEATURE. SUGGESTED LANDSCAPE GRADE AT FRONT & REAR = HIGHEST SIDEYARD ELEV. + 0.10m.
- STEEL REINFORCEMENT RECOMMENDED FOR CONCRETE FOOTINGS AND FOUNDATION WALLS WHERE ACTUAL TOP OF FOOTING IS HIGHER THAN ORIGINAL GROUND (OG) ELEVATION INDICATED. ENGINEER COMPLETING SOIL BEARING CERTIFICATE TO CONFIRM REQUIREMENTS AND/OR DETAILS.
- REFER TO THE SUBDIVISION UTILITY AND OVERLAND DRAINAGE RIGHT OF WAY PLANS FOR LOCATIONS AND DIMENSIONS OF RIGHT OF WAYS ON THE LOTS.
- MIN DEPTH OF WATER SERVICE TO BE 2.7m AT THE CURB BOX. INCREASE TO 3.3m WHERE SITE MATERIAL IS GRAVEL

LOT TYPES

- L - LEVEL LOT
- LB - LEVEL LOT (BACK TO FRONT DRAINAGE)
- W - FULL WALKOUT BASEMENT
- WS - SPLIT LEVEL WALKOUT BASEMENT
- (T) - TRANSITION LOT

ELECTRICAL LEGEND

- | PROPOSED | UTILITY EASEMENT                          | EXISTING |
|----------|---|----------|
|          | FORTIS TRANSFORMER                        |          |
|          | 3-PARTY JOINT PEDESTAL (POWER/TELUS/SHAW) |          |
|          | LIGHT STANDARD                            |          |
|          | COMMUNITY MAILBOX                         |          |
- NOTE:
- IN AREAS OF FILL GREATER THAN 1.0m, COMPACT FILL TO 98% S.P.D. TO WITHIN 1.0m OF FINISHED GRADE. IN AREAS OF FILL LESS THAN 1.0m, COMPACT FILL TO 95% S.P.D.
  - ALL ELEVATIONS ARE LIP OF GUTTER UNLESS NOTED OTHERWISE.
  - SERVICE ELEVATION AT 6.50m FROM FRONT OF LOT, CURB STOP AT FRONT PROPERTY LINE.
- |  |                          |  |
|--|--------------------------|--|
|  | CATCHBASIN MANHOLE       |  |
|  | CATCHBASIN (STANDARD)    |  |
|  | CATCHBASIN (ROLLED CURB) |  |
|  | FIRE HYDRANT             |  |



GRADE AT FRONT PL.	980.55	980.50
STREET	↑	
DRIVEWAY	↑	
SERVICE INVERT AT STUB UNLESS OTHERWISE NOTED	S 978.30	
LOWEST TOP OF FOOTING - SUGGESTED MIN. FINISHED LANDSCAPE ELEVATION AT FRONT OF HOUSE	LTF 979.15	
SUGGESTED MIN. FINISHED LANDSCAPE ELEVATION AT REAR OF HOUSE	980.90	
ORIGINAL GROUND ELEVATION (PRIOR TO SITE GRADING AT CENTRE OF BUILDING ENVELOPE)	OG 978.40	
SERVICE TYPE	○●▲	
LOT TYPE	L	
BLOCK NUMBER	92	
LOT NUMBER	1	
DEPTH OF FILL EXCEEDS 1.2m (BEARING CERTIFICATE REQUIRED)	*	
CNC ADDRESS	00	
SHALLOW STORM SERVICE CONNECTION REQUIRED	*ST*	
ELEC., TELUS., & SHAW DROPPOFF	*	
FRONT SERVICE LOCATION (4.5m FROM PROPERTY LINE UNLESS OTHERWISE NOTED)	○●▲	
GRADE AT REAR PL OR EDGE OF OVERLAND DRAINAGE R/W (WHERE APPLICABLE)	980.35	980.30

○	SINGLE WATER & SANITARY SERVICE
●	DUAL WATER & SANITARY SERVICE
▲	SINGLE WATER, SANITARY & STORM SERVICE
▲	DUAL WATER, SANITARY & STORM SERVICE

**NOTE:**  
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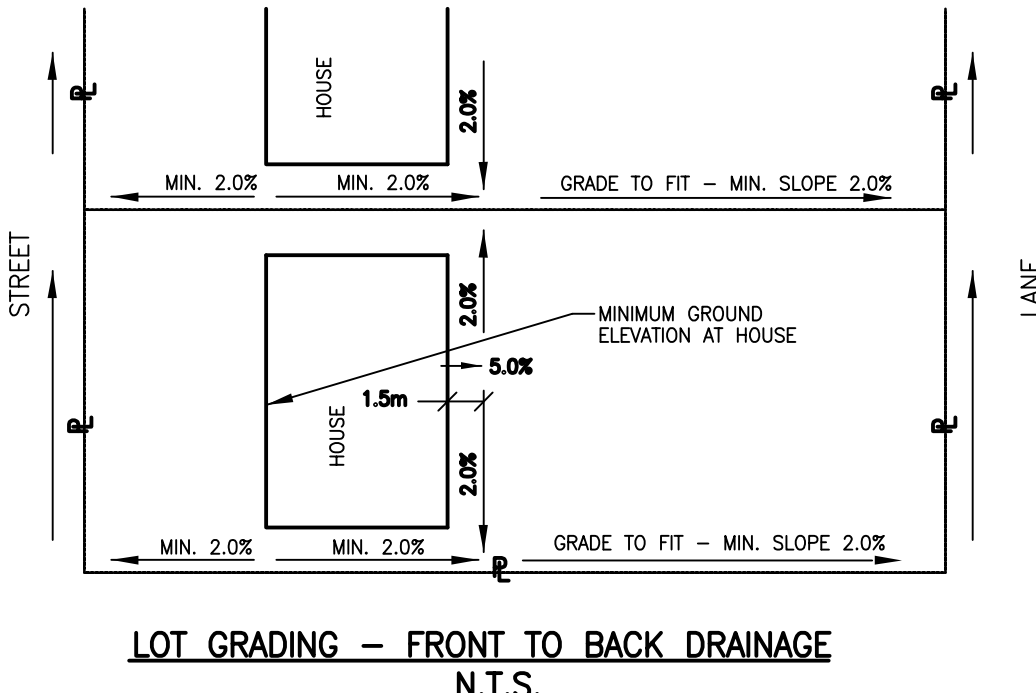
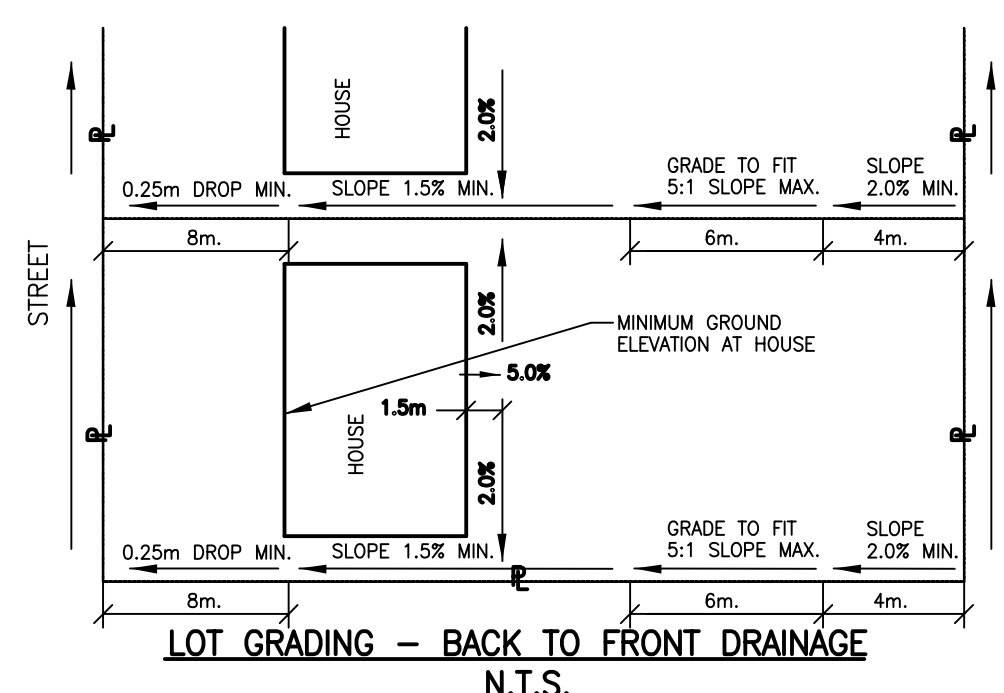
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 By: *Stacy Lawrence*  
 Date: *21 July 14* Issue: *6*  
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Originally Sealed by  
*Alyson Jensen*  
 On: *21 July 14*  
 Issue: *6*  
 Revision: *6*

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**ELECTRICAL LEGEND**

PROPOSED	UTILITY EASEMENT	EXISTING
■	FORTIS TRANSFORMER	□
▲	3-PARTY JOINT PEDESTAL (POWER/TELUS/SHAW)	□
●	LIGHT STANDARD	□
⊗	COMMUNITY MAILBOX	□

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□	CATCHBASIN (STANDARD)	□
□	CATCHBASIN (ROLLED CURB)	□
●	FIRE HYDRANT	●

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