



Westmere Phase 24

ARCHITECTURAL GUIDELINES | February 2014

1. INTRODUCTION	3		
1.1 Background and Location	3		
1.2 Intent and Theme	3		
1.3 Site Tours / Final Inspections	3		
1.3.1 Site Tours	3		
1.3.2 Final Inspections	3		
2. GENERAL REQUIREMENTS	3		
2.1 Site Massing	3		
2.1.1 Front Yard Setback	3		
2.1.2 Rear Yard Setback	3		
2.1.3 Side Yard Setback	3		
2.1.4 Building Height	4		
2.1.5 Lot Coverage	4		
2.1.6 Minimum Habitable Floor Area, Excluding Basements	4		
2.1.7 Garages	4		
2.1.8 Driveways and Approaches	4		
2.2 Style and Building Materials	5		
2.2.1 Repetition	5		
2.2.2 Exterior Cladding	5		
2.2.3 Masonry	5		
2.2.4 Roof Materials	5		
2.2.5 Roof Hardware	5		
2.2.6 Exterior Colours	6		
2.2.7 Entry	6		
2.2.8 Front Entry Doors	6		
		2.2.9 Garage Doors	6
		2.2.10 Railings	6
		2.2.11 Trim and Soffits	6
		2.2.12 Windows	7
		2.3 Additional Requirements	7
		2.3.1 Rear Elevations	7
		2.3.2 Exposed Elevations	7
		2.3.3 Decks and Patios	8
		2.3.4 Rear Yard Fencing	8
		2.3.5 Side Yard Fencing	8
		2.3.6 Dog Runs	8
		2.3.7 Ancillary Structures	8
		2.3.8 Lot Grading and Retaining Walls	9
		2.3.9 Recreation Equipment and Recreation and commercial Vehicles	9
		2.3.10 Satellite Dishes	9
		3. APPROVAL PROCESS	10
		3.1 Preliminary Review	10
		3.2 Pre-Construction Inspection	10
		3.3 Formal Application Submission	10
		3.3.1 Removal of Customer Names	10

4.	CONSTRUCTION REGULATIONS	11
4.1	Material and Equipment storage	11
4.2	Sanitary Units	11
4.3	Use of Site	11
4.4	Vehicles and Parking	11
4.5	Other Notes	11
5.	DISCRETION	12
5.1	DISCRETION	12
5.2	NO RIGHT TO ENFORCE	12
5.3	RIGHT TO AMEND	12
6.	CONTACTS	12

1. INTRODUCTION

1.1 Background and Location

Westmere is a very well established community located in the Town of Chestermere, conveniently located with easy access to Highway 1 and just 10 minutes East from Calgary. This master planned community displays elegant streetscapes and landscaping, and a very high architectural design standard.

These architectural guidelines have been prepared for Phase 24, of Westmere. All homes in Phase 24 are expected to display a high level of architectural standards in order to compliment its design and location.

Westmere Phase 24 consists of the following lots:

- **Block 42, Lots 23-47**
- **Block 43, Lots 1-18**

1.2 Intent and Theme

The intent of these Architectural Guidelines is to ensure that Westmere Phase 24 will continue in the high standard of architectural design that has been carried out through the entire community of Westmere. Phase 24 will be considered as an Estate Phase in Westmere and the homes will be required to have extensive detail and style. Builders and designers are encouraged to use the large lots to their advantage when coming up with designs and properly use all of the space provided.

1.3 Site Tours / Final Inspections

1.3.1 SITE TOURS

The Architectural Coordinator will conduct site tours once per month to oversee the progress of the development and

construction. This will include dealing with potential issues that may have occurred, as well as visits to the Showhomes to answer any questions the sales staff may have.

1.3.2 FINAL INSPECTIONS

IBI Group will conduct random final inspections to ensure that any given home complies with the architectural guidelines document. Should all of the design conditions be met, the homeowner and builder will receive written notification of compliance. Deficiencies, if any, will be noted and corrected before compliance is met.

2. GENERAL REQUIREMENTS

2.1 Site Massing

The setbacks and building heights are listed below. (Compliance with these Architectural Guidelines does not preclude compliance with the statutory requirement of the Town of Chestermere.) A plot plan showing required setbacks will be provided by the respective builder. All lots in Phase 24 are zoned R-1 and must meet all rules of the Chestermere Land Use Bylaw.

2.1.1 FRONT YARD SETBACK

- Garage or house structure is a minimum 6 metres from property line.

2.1.2 REAR YARD SETBACK

- Minimum 6.0 metres to the foundation.

2.1.3 SIDE YARD SETBACK

- Minimum of 1.5 metres. The combined side yard setback may not be greater than 4.5 metres. On corner lots a

minimum of 3.0 metres is required on the street side of the lot.

2.1.4 BUILDING HEIGHT

- Principal buildings shall not exceed 12 m (39.3 feet) in height

2.1.5 LOT COVERAGE

- All buildings, including accessory buildings – 45%

2.1.6 MINIMUM HABITABLE FLOOR AREA, EXCLUDING BASEMENTS

- Two storey: Minimum 2000 ft² (Min. of 1000 ft² on the main floor)
- Bungalow: Minimum 1400 ft²

2.1.7 GARAGES

- Every lot in Westmere Phase 24 will require a double attached front garage as a minimum. Triple garages are encouraged wherever possible. When triple garages are used one of the bays should be offset from the main face of the garage a minimum of 12”.
- It is encouraged that the distance between the face of the garage and the face of the home be 12 feet or less. When this is not possible, extra treatment will be required on the side wall of the garage, such as a window.
- Garage locations will vary as per the building grade plan.

- Garages are to blend with the overall design of the house. Colours and materials are to be similar to that used on the main body of the house.
- The garage should reflect and complement the overall massing and proportion of the home and not dominate the streetscape.
- The Architectural Coordinator may approve garages which are intended to accommodate recreation vehicles provided there is adequate detailing to minimize the impact of a larger door.
- Corner lots that have a bonus room above the garage will require some more detail on the side elevation to break up the large two storey blank wall in the front entry locations. This can be achieved by adding rooflines and stepping back the bonus room walls so they are not on the same plane as the garage walls.

2.1.8 DRIVEWAYS AND APPROACHES

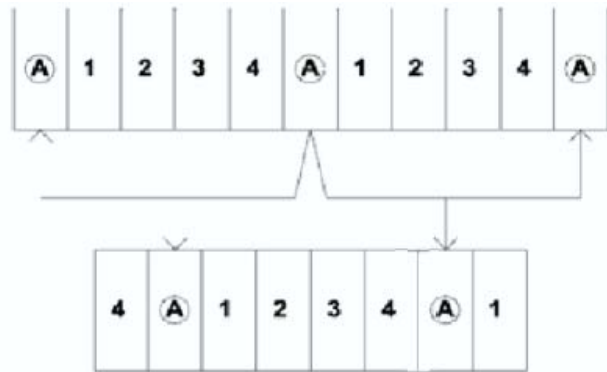
- Driveways are to be an interesting shape to compliment the streetscape and add interest.
- Driveways are to be brushed concrete with a min. 24” border of exposed aggregate or stamped concrete border with steps to match. Full exposed or patterned driveway is an acceptable detail.
- Desirable driveway slopes are between 3% and 7%
- Maximum driveway slope is 10%; minimum is 2%
- Each individual driveway design will be approved as part of the respective house design merits and will not set precedence for other driveway designs.

- No approach shall abut a major street unless otherwise approved by the Development Authority.
- The projection of the edge of an approach shall be perpendicular to the normal curb line of a roadway.
- The minimum distance between approaches serving the same property shall be 18m (59 ft.) measured along the street line.
- Driveway/Parking Pad setbacks:
 - Street side: 1.5m (5 ft.)
 - All other sides: 0.60m (2 ft.)

2.2 Style and Building Materials

2.2.1 REPETITION

Identical elevations may not be repeated more often than every 5th home on the same side of the street and every 4th home on the opposite side of the street. The Architectural Coordinator may approve the same home closer than 5 homes apart if some modifications to the exterior are designed.



2.2.2 EXTERIOR CLADDING

- Stucco, Composite siding and Vinyl Siding will be permitted. If Vinyl Siding is being used it must be a premium color and have min 6" smart board corner boards to all exposed sides and have a higher level of detailing. Any alternate exterior cladding materials need to be submitted for review to the Architectural Coordinator.

2.2.3 MASONRY

A traditional base of masonry is required on all homes in the Westmere Phase 24. The amount of stone will be approved based on the level of detail on the home. Approved masonry products are:

- Brick
- Manufactured or Natural Stone.

2.2.4 ROOF MATERIALS

The approved roofing material will be Cambridge Dual Black shingles by IKO or an approved alternate manufacturer. Slate profile concrete tile or Rubber roofing in black colour will be an acceptable upgrade.

2.2.5 ROOF HARDWARE

All roof hardware (vents, stacks, flashing, etc) must be painted to match the colour of the roofing material.

Roof vents and stacks should be inconspicuous. If highly visible, they must be boxed in, detailed and finished in conjunction with the exterior of the home.

Roof flashing must be pre-finished to blend with the roof.

2.2.6 EXTERIOR COLOURS

Colours on the exterior of the home need to be consistent with the Architectural theme.

- Traditional exterior palates are to be applied to each house. For clarity colour boards or colour renderings are recommended to be submitted with the architectural application for review.
- Pink or Peach tones will not be considered.
- Wall and stone colour may not repeat within 3 houses on the same side of the street or directly across the street, however the trim colour may repeat.

2.2.7 ENTRY

Each home needs to have a very carefully considered and designed entry.

- Must be consistent with architectural style of the home.
- Should stand as a primary element on the front elevation.
- Should face the main community road.

2.2.8 FRONT ENTRY DOORS

- Front entry doors are to coordinate with the house style
- Single or double front entry doors are allowed, but are subject to approval
- Entry doors should have glazing and/or sidelights and/or transom windows
- Sliding glass doors should not be visible from the street

- Front doors are required to be relief panel doors of solid construction, with a door light panel feature including wood with detailed glazing or side lights and arched elements.

2.2.9 GARAGE DOORS

- **All garage doors must be Carriage or Renaissance style.** Other decorative doors may be approved at the discretion of the Architectural Coordinator.
- Are not to exceed 8' in height and 20' in width unless approved by the consultant.
- Additional space above the garage door to eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.

2.2.10 RAILINGS

Rails will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme of the home. The following are acceptable materials for railing in Westmere Phase 24:

- Wrought Iron / Aluminum
- Glass (rear only)

2.2.11 TRIM AND SOFFITS

Trim and soffit details are a chance for the traditional elements of the home to be accented. Window trim, if done properly, can make any window look rich and elegant. Cornices and half timbering can bring an elevation to life when used in accordance with the architectural style. Designers are asked to put a great deal of effort into the trim detailing on each design.

- Trim shall be a paintable material such as Smart board or approved equal only and is required on all exposed openings visible from a street, park, etc. Trim is required on all openings on the front and rear elevations and is required on exposed side elevations.
- Shadow boards or cornices are required on front and rear elevations in the open gables.
- Trim details should be a minimum of 4"
- Trim must sit proud of the wall material they are designed within. When Smart board trim is used on a stone wall, the trim must be built out at least ½" proud of the stone.
- **When Vinyl Siding is being used, 6" smart board (or approved equal) corner boards are required to all exposed elevations.**
- Dentil block details may only be used as a part of a cornice detail (in accordance with the architectural style)
- Rain ware must be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only
- Eavestrough colours are to match the fascia colour. Pre-finished aluminum fascia will be allowed.
- Fascia should be a minimum of 6 inches in height and may be constructed in prefinished aluminum.

2.2.12 WINDOWS

- Window layouts are a key to achieve a chosen design style. Windows should be positioned in good proportion and relationship to one another on an elevation. If

fenestration is not set up properly, walls can look scattered and unorganized.

- Muntin Bars are required on all front elevations and any exposed side elevations. Brass muntin bars are not acceptable.
- Windows will have to be decorated and/or trimmed to suit to complement the architectural theme.
- Window styles and shapes are to be consistent on all four elevations.
- Windows are to be oriented vertically i.e., taller than they are wide.
- Large picture windows should be flanked by narrower vertical windows.
- The use of simulated divided light windows is encouraged to add architectural integrity, particularly with period home designs.

2.3 Additional Requirements

2.3.1 REAR ELEVATIONS

All homes will require some level of detail on the rear elevations. Battens around windows and shadow boards will be required on all homes. Homes that back onto open space will require more detail such a built up deck posts and possible stone. 3 storey rear elevation on walk-out lots will not be permitted.

2.3.2 EXPOSED ELEVATIONS

Exposed elevations include all elevations along pathways, roads, open spaces, and corners. The exposed elevations facing the street should be well articulated with various

elements appropriate for the overall design of the house. Such elements include box-outs, chimneys, fully detailed windows, shadow boards, belly boards, battens in open gables and extra rooflines.

2.3.3 DECKS AND PATIOS

- Decks and patios are to be incorporated and submitted as part of the design on walk-out lots and must be built during construction of the home.
- Decks and patio designs must take into account privacy issues of neighbouring residences. Oversized decks that impede privacy or are disproportionate to the residence will not be allowed.
- Handrails on exterior decks are to be pre-finished aluminum or metal construction.
- Supporting columns for decks and porches are to be architecturally detailed. Columns must have a minimum dimension of 12" x 12".

2.3.4 REAR YARD FENCING

- Rear yard fencing along the rear property line will be supplied by the developer. The fencing supplied will be either a six foot wood screen fence, or black chain link, depending on the lot.
- Homeowners are encouraged to use vegetation to enhance privacy along all fence lines.
- A fencing plan will be prepared by the developer on a Phase by Phase basis. Fencing and gates installed by the Developer may not be altered or removed under any circumstances. Alternative fencing specifications are not permitted.

2.3.5 SIDE YARD FENCING

- If the rear yard fence of a particular lot has been constructed as a six foot privacy fence, the side yard fence is to be a six foot privacy fence that matches the developer's specifications and colour.
- If the rear yard fence has been constructed using chain link, the side yard fences must be constructed using black chain link to match the Developer's specifications and colour.

2.3.6 DOG RUNS

- Fencing for dog runs may be installed by the homeowner, provided it is a maximum of 6 feet in height and conforms to the developer's fencing specifications.
- The fenced dog run area may not extend beyond the depth of the house foundation.
- Dog runs may only extend into side yards.
- Landscape elements are encouraged as screening for dog runs.
- Dog runs MUST be shown on the Landscape Plans.

2.3.7 ANCILLARY STRUCTURES

- Ancillary structures such as gazebos, arbours, trellises, fire pits and storage cabins must be designed in a similar style to the home. They shall be located in the rear of the lot.
- Will be evaluated based on sight planes and privacy of neighbours.

2.3.8 LOT GRADING AND RETAINING WALLS

- Lot grading is to follow the natural slope of the land form and is to be consistent with the subdivision grading plan.
- Lot slopes should be absorbed within the building massing as much as possible (i.e., stepped foundations and floor levels to minimize the need for grades steeper than 3:1. Builders must also give close attention to drainage patterns created on the home sites in order to ensure surface water is channelled away from the house on all sides and into adjacent drainage swales and storm water systems.
- Builders must ensure that the corner grade points and survey pins of each home site, as established by the development engineer, be maintained exactly as specified.
- Damaged pins will be replaced immediately by the Applicant at the Applicant's expense.
- Builders are responsible for maintaining the design grades at the home site corners, property lines, house corners and garage slabs.
- The Applicant is responsible for all survey-related costs and the preparation of an Alberta Land Surveyors Real Property Report, a copy of which must be provided to the Developer upon occupancy.
- The drainage pattern as indicated on the 'grade plan' and engineering approval must be established prior to commencing construction and maintained by the builder throughout the construction period.
- Individual lot grading (including drainage swales and retaining walls) must be handled within individual home site property lines.

- The Developer may install sedimentation and erosion control devices at the rear or side of any lot and at catch basins or any other area where the need for a control device exists. The builder/owner must maintain these devices until such time as the owner's landscaping is completed and an inspection certificate has been issued by the
- Developer's Landscape Consultant, owners and builders must not remove any control device from common areas or roads.
- Where retaining walls are required in the front yard or front driveway area, they are to be constructed using natural stone, brick, manufactured stone or concrete products. The use of wood as a structural material for retaining walls will be permitted within the side yards and rear yards only, except for corner lots.
- Retaining walls will be limited to a height of 4 feet (1.22 meters) unless it can be proven that a higher wall is necessary. If so, a stepped form shall be used to reduce the wall's visual mass as illustrated.

2.3.9 RECREATION EQUIPMENT AND RECREATION AND COMMERCIAL VEHICLES

- Recreational vehicles and commercial vehicles shall not be parked or stored on site unless they are fully contained within a garage.
- Trailers, motor homes and boats may be stored for the purpose of loading and unloading but shall not be stored on any lot for more than 48 hours.

2.3.10 SATELLITE DISHES

- Satellite dishes are allowed provided the dish size does not exceed twenty-four (24") inches in diameter and the

location of the dish is concealed to minimize visual impact.

- Notwithstanding the above, the Representative reserves the right to reject any installation if deemed inappropriate.

3. APPROVAL PROCESS

3.1 Preliminary Review

To achieve the desired traditional look in Westmere Phase 24, designers are encouraged to create preliminary renderings or sketches of home plans and elevations to the Architectural Coordinators for preliminary review to ensure that they are on the right track.

3.2 Pre-Construction Inspection

Builders must pre-inspect their lot for damages to utility boxes, water valves, sidewalks, curbs and fences and list any damages in writing to the Developer prior to construction commencing on the lot. If damages are not sent to the Developer in writing and there are damages, the builder will be invoiced. Pre-construction inspection may also be made electronically on www.archcontrol.com.

3.3 Formal Application Submission

Builders will have to submit their plans to the Architectural Coordinator for architectural review and confirmation of compliance with these architectural guidelines before they will be permitted to apply to the Town of Chestermere for a building permit. The Architectural Coordinator will require the following information submitted via www.archcontrol.com:

Completed Exterior Colour Form

Plot Plan (1:200 scale) showing the following:

- Lot size
- Building envelope
- Setbacks
- Lot coverage
- Easement and utility rights of way
- Property and house corner grades

Construction Drawings (1/4"=1'; 3/16"=1')

- Floor Plans
- Elevations
- Cross Section

3.3.1 REMOVAL OF CUSTOMER NAMES

Builders must ensure all customer names are removed from their drawings before Architectural Submission.

4. CONSTRUCTION REGULATIONS

4.1 Material and Equipment storage

- Builders will be allowed to store their materials and equipment on site during construction but may not store on any other home sites
- Items stored will have to be stored in an organized and covered manor to ensure site cleanliness
- Builders must ensure that they do not trespass or disturb any other properties
- Cleaning of paint, solvents, stains, etc will not be permitted on site
- Concrete trucks may not clean shoots anywhere on site

4.2 Sanitary Units

- Temporary sanitary services are to be provided on site by each builder for their construction crews to use in compliance with the Public Health Act of Alberta

4.3 Use of Site

- Construct debris and waste must be contained on site each day and removed at the end of the project
- Debris may not be burned, dumped, or buried anywhere on site at any time
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the fixed by the responsible builder

- Should a site not be maintained as these guidelines document, the developer reserves the right to rectify any deficiencies at the cost of the responsible builder

4.4 Vehicles and Parking

- Builders must limit the amount of vehicle tread on home sites
- Utility trailers, etc. may be parked on site for the time of construction only, at the risk of the builder

4.5 Other Notes

- Vegetation material, top soil, or similar materials may not be dumped on site at any time
- Changing oil on any equipment or vehicles is not permitted on site
- Alcohol and drugs are prohibited at all times on site
- Erosion control will be the responsibility of the builder during construction
- Builders are to ensure that sites are not access except via the provided entries

5. DISCRETION

5.1 DISCRETION

Notwithstanding anything else set out in these guidelines, the Developer, Melcor Developments Ltd. and IBI Group's Architectural Coordinators may apply their respective judgements when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and its Architectural Coordinators may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

5.2 NO RIGHT TO ENFORCE

Only the Developer may enforce the Architectural Guidelines. No purchaser of a lot in Westmere may enforce the Architectural Guidelines.

5.3 RIGHT TO AMEND

The Developer or Architectural Coordinator may from time to time amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

6. CONTACTS

Architectural Coordinator

IBI Group

400 – Kensington House
1167 Kensington Crescent NW
Calgary, Alberta, T2N 1X7
Tel: 403.270.5600
Fax: 403.270.5610

Developer

Melcor Developments LTD.

Suite 300
1204 Kensington Road NW
Calgary, Alberta, T2N 3P5
Tel: 403.283.3556
Fax: 403.270.0538