



CAVANAGH

ARCHITECTURAL DESIGN GUIDELINES
SEPTEMBER 2014



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CAVANAGH



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“Modern Living in the Heritage Valley”

The community of Cavanagh is being developed in a historically significant area in south Edmonton that has become known as the Heritage Valley. The vision for the community of Cavanagh will draw on the significance of the area’s heritage while addressing the highly urbanized neighbourhood that will prevail throughout Heritage Valley.

Cavanagh will be a diverse community with housing types and styles to accommodate the needs and tastes of many buyers. The broad mix of housing types will be unified through common design elements and features that reinforce the character and lifestyle of the neighborhood in an expression of harmony.

Innovative architectural guidelines will offer revitalized versions of traditional architectural styles; Styles that reflect the early Alberta heritage will be modernized to present stylized urban character.

Ultimately the streets of Cavanagh will provide a recognizable comfort through traditional forms and massing, stimulated by refreshingly new details and features. Cavanagh will draw on the individuality of its buyers to create a place where all types of homes and people exist happily, synergistically, and together shape the community of Cavanagh.

**An expression
of harmony**





AMENITIES

Taking advantage of its locale adjacent to Blackmud Creek the community of Cavanagh will reinforce the opportunities for its residents to interact with nature. The preservation of natural tree stands and the creation of an adventurous creekside trail system will provide an appealing backdrop to the community of Cavanagh.

DEMOGRAPHICS

The community of Cavanagh is expected to draw the majority of its buyers from a market of young families and young single professionals.

MARKETS

The homes in Cavanagh will address these market expectations with product lines that include:

- ☞ Townhomes under 1400 sq.ft with an attached front garage
- ☞ Semi-detached homes in a size range under 1500 sq.ft with and without an attached garage
- ☞ Starter single family homes in a size range under 1500 sq.ft without an attached garage
- ☞ First Move-up homes in a varied size range with an attached garage



ARCHITECTURAL GUIDELINES OBJECTIVES

The architectural guidelines for Cavanagh will initially establish the character of the community and ultimately strive to maintain the integrity of the community for years to come. The guidelines will aim to ensure that the community of Cavanagh presents an impression of quality yet recognizes the importance of affordable housing product.

GENERAL

The developer's architectural consultant will review all homes in the community of Cavanagh, to ensure compliance with all aspects of the architectural guidelines, before being permitted to proceed for permits and construction. All construction must comply with all local building codes and ordinances.

LAND USE AND ZONING REGULATIONS

Due to the variety of land use and zoning requirements in the Cavanagh area all builders are to ensure familiarity with the appropriate requirements and stipulations.

SITE PLANNING

HOUSE PLACEMENT

Builders are to choose home designs that are suited to all the attributes of the lot. Builders are to review all available information and ensure the proposed house takes into account the lot size, lot location, site grading and view potential. Houses are expected to fill the lot width appropriately, avoid unnecessary use of retaining walls and provide interesting and appropriate elevations in exposed locations.

SETBACKS

General setbacks on all lots will be governed by the minimum setback requirements as per the City of Edmonton by-law requirements.

FRONT SETBACK

The developer's architectural consultant will monitor front setbacks. To create more interesting street-scapes variety will be provided in the front setbacks along the street.

In areas where a more expansive street ambience is desired an increase in the minimum front setback will be utilized and variety between units will occur. Homes with greater massing will require increased setbacks to reduce their dominance on the street.

☞ Minimum Front setback requirements from the property line

- Townhome – 4.5M
- Semi Detached – 4.5M
- RPL – 5.0M
- RSL – 6.0M

CORNER LOT SIDEYARD SETBACK

☞ Minimum sideyard requirements on corner lots
All home types – 3.0M

UNUSUAL SHAPED OR PIE – LOTS

The architectural consultant will review the siting of all houses and ensuring the siting of houses on pie lots is acceptable to the streetscape and compatible with adjacent houses will be imperative. Builders are encouraged to choose house plans that can be centered on these lots with greatest exposed frontage to the street.

SITE COVERAGE

Total site coverage will be as per the City of Edmonton by-law requirements.

	Principal Dwelling/ building	Accessory building	Principal building with attached Garage	Total Site Coverage
a. Single Detached and Duplex Housing	28%	12%	40%	40%
b. Semi-detached Housing - Site area $\geq 600 \text{ m}^2$ or greater	28%	12%	40%	40%
c. Semi-detached Housing - Site area less than 600 m^2	28%	14%	42%	42%
d. All other Uses	28%	12%	40%	40%

GRADING

- ☞ Builders are responsible for ensuring that the house type is suitable to the lot grading and all grading will be subject to requirements of the local lot grading by-law.
- ☞ Builders are to familiarize themselves with the engineering grade plan and ensure that drainage patterns are to be established on all lots that channel surface water away from the house on all sides and into adjacent drainage swales and storm water systems.
- ☞ Grading and drainage patterns must coordinate with adjacent lots, – no drainage across adjacent lots can occur.

Minimum permitted slopes: All grassed/landscaped areas 2%

Maximum permitted slopes: Front and rear yards 15%

Sideyards 33%

Driveways 10%

- ☞ Downspouts are to be positioned to direct water away from the house, to adjacent streets or side or rear drainage swales. Storm water cannot be directed onto adjacent lots.

RETAINING WALLS

- ☞ Builders are to choose houses that suit the lot grading and avoid unnecessary use of retaining walls.
- ☞ Failure to adhere to the building grade plan or approved grades may result in the need for a retaining wall.
- ☞ If retaining walls are required they will be entirely the responsibility of the builder.
- ☞ Builders are required to provide as built grades and self resolve any grading disputes with adjacent properties.
- ☞ All retaining structures must be within property lines.
- ☞ Concrete wing walls will be acceptable when not visible from a street or public space.
- ☞ Any retaining wall exceeding 1.00 metre in height MUST be approved by a professional engineer and may require a development permit.

MATERIALS

- ☞ Acceptable materials for retaining walls are:
- ☞ Landscaping blocks (ie: Alan block) or poured concrete with aggregate surface or strip form concrete

GENERAL REQUIREMENTS

HOUSE TYPES

To maintain a consistent streetscape bungalows and bi-levels will be permitted on a discretionary basis. To ensure that balance is maintained along a street, the acceptance of either bungalows or bi-levels may require a commitment to construct additional of these house types on the street.

HOUSE SIZES

Minimum house sizes are not specified in Cavanagh. Houses are expected to have a consistency of mass and volume within the streetscape. Houses that are not suitably consistent will require additions or alterations to improve their streetscape presence.

Maximum square footage applies as set out in the Land Use Bylaw.

HOUSE WIDTHS

Houses are expected to utilize the lot width available to provide maximum frontage to the street. Houses that do not relate proportionately to the lot width will be required to provide additional box-outs or extensions to meet the house width expectations.

BUILDING HEIGHT

The maximum building height will be as per the City of Edmonton by-law requirements.

GARAGES & DRIVEWAYS

All RSL homes in Cavanagh are required to have attached front drive garages (min width of 19') on both laned and laneless lots.

- ☞ All zero lot line homes are permitted rear detached garages only.
- ☞ Semidetached homes on laneless lots are required to have front drive garages.
- ☞ Semidetached homes on laned lots are permitted rear detached garages only.
- ☞ Townhomes on laneless lots are required to have front drive garages.
- ☞ When lot size permits, garages are to be offset to fill the lot width. (minimum 2')
- ☞ Driveways are to be completed in a minimum of broom finished concrete.
- ☞ Driveways are not to exceed the width of the garage.

REPETITION

EXTERIOR DESIGN

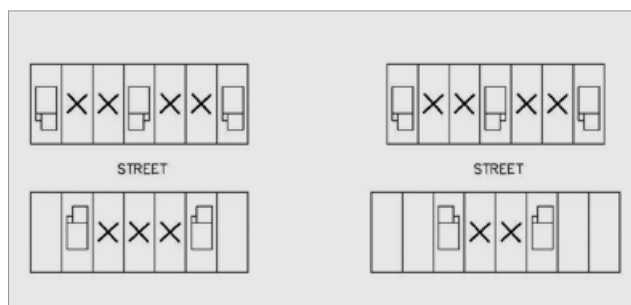
To ensure suitable variety of all streetscapes, houses of the same or similar design and detailing will be separated. Between similar house designs a minimum of 2 lots on either side and a minimum of 2 lots each way across the street is required.

COLOURS

To further ensure homes offer an element of distinction on streetscapes separation will be required between colour schemes.

Between similar colour schemes there must be a minimum of 2 houses between when on the same side of the street and a minimum of 2 houses between when on the opposite side of the street.

Houses with significant differences in architectural style and design may be permitted, at the consultant's discretion, to have similar colour schemes in closer proximity than is typical. Architectural Design.



ARCHITECTURAL STYLE

All homes in Cavanagh will promote a progressive, inviting environment through **Modern Heritage** themed exterior designs. The exterior character of each home will be based on the strong, basic components of classic traditional architectural styles such as Prairie, Craftsman, Colonial and Arts & Craft and will be presented in a modernized, stylized fashion.

The modernized versions of these architectural styles will be designed to maintain the overall massing and form of the original classic style as well as the characteristic roof type and slopes. These exteriors will gain the modern edge emphasized in Cavanagh through the introduction of clean lines, contemporary detailing and unique or unusual materials. Large windows that proportionately fill wall spaces and create interest are imperative to these modern exterior designs.



MODERN HERITAGE

PRAIRIE



- ☞ Low, sloped Hip rooflines
- ☞ Simple trims
- ☞ Large windows in consistent configurations
- ☞ Large heavy columns

- ☞ Smooth Masonry finish
- ☞ Horizontal Elements
- ☞ Strong vertical wing walls
- ☞ Single storey wings or box-outs
- ☞ Contrasting wall materials

COLONIAL



- ☞ Low sloped open gable rooflines
- ☞ Multiple gable rooflines
- ☞ Repetitious window patterns
- ☞ Accent material in gable ends

- ☞ Simple vent details
- ☞ Round or square smooth columns
- ☞ Smooth brick finishes

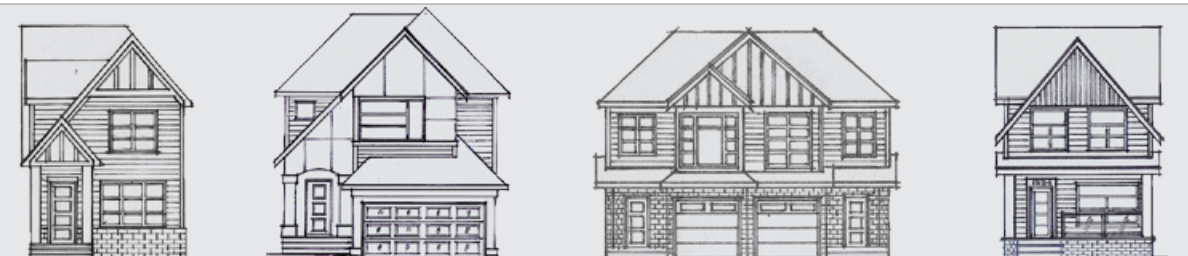
CRAFTSMAN



- ☞ Low, sloped Hip rooflines
- ☞ Simple trims
- ☞ Large windows in consistent configurations
- ☞ Large heavy columns

- ☞ Full or wrapped porches
- ☞ Simple bracket or beam details
- ☞ Simple square columns

ARTS & CRAFTS



- ☞ Steep pitched gable rooflines
- ☞ Asymmetrical roofs
- ☞ Continual window pattern

- ☞ Thick round or square columns
- ☞ Smooth Masonry finish
- ☞ Alternate gable end material

ROOF DESIGN & PITCH

- ☞ A variety of roof pitches will be promoted throughout Cavanagh. The roof design and pitch must be well suited to the style of exterior represented.
- ☞ Single sloped rooflines will be permitted when suited to the overall house design provided the overall massing addresses a traditional form. A low-sloped pitch of 4/12 is recommended for this roof type.
- ☞ Flat roofed accent areas will be encouraged to emphasize the **Modern Heritage** style promoted in Cavanagh.
- ☞ Minimum roof overhangs are to be 1'6" except where the architectural style commands that suitable overhangs are either larger or smaller.
- ☞ Rooflines are to be made as interesting as possible through variation of rooflines and the use of dormers and gable ends.
- ☞ Rooflines on all highly exposed elevations (side and rear) are to incorporate dormers or gable ends with decorative treatments that match to the front elevation.
- ☞ Second storey roofline features are to match the front elevation in all high exposure locations, particularly Calgary Trail.
- ☞ Lower profile homes such as bungalows may require steeper pitched rooflines in order to provide compatible massing on the streetscape.



FRONT ENTRIES

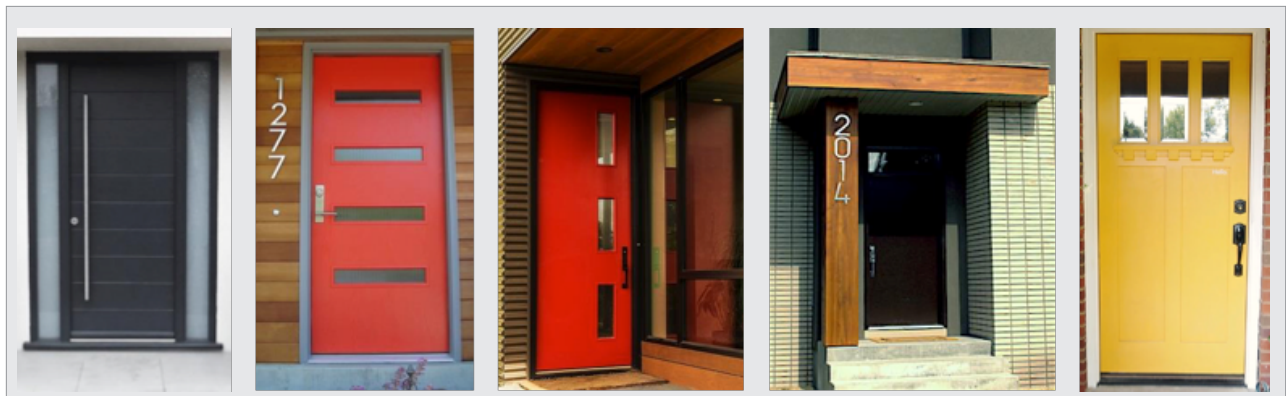
The front entry of a home is an integral element of the overall design and is expected to be a focal point of the front elevation and/or exposed side elevation. Front entries provide an opportunity to fully express the character of the home and create a welcoming feature. Front entries are to be well enhanced with decorative treatments that encompass the **Modern Heritage** style.



FRONT DOORS

Stylish doors can immediately set the tone of the exterior design of a home and considerations for the following addressed:

- ☞ Door locations are to be as highly visible as possible.
- ☞ Doors with a modern edge that are suited to architectural style are preferred.
- ☞ these doors may be flat slab doors with unusual glazing insert patterns, corrugated metal inserts or other unusual decorative features
- ☞ Doors must be painted or stained to accent the home's colour scheme



PORCHES

Front porches will be encouraged when suited to the style of the home. Porches are to portray the **Modern Heritage** through the incorporation of cleanly detailed columns, simple wood railings, stylized brackets and trim work.

This more modern aspect of the front porch may also be finished in smooth or exposed aggregate concrete with metal, glass or no railings.

All porches must include:

- ☞ All vertical surfaces painted to match the trim or wall colour of the home. Pressure treated material may only be used for flat surfaces.
- ☞ The bases of all porches are to be closed in and finished in an appropriate solid material.
- ☞ Lattice panels are not acceptable.
- ☞ Porches are recommended to be a minimum of 5 feet deep



FRONT STEPS

- ☞ Wood steps are acceptable if constructed in cedar or pressure treated wood with closed risers. Risers and all vertical surfaces to be painted, stained or finished as per the approved finishing details.
- ☞ Poured decorative concrete steps are permitted and are to match the sidewalk finish.
- ☞ Precast concrete steps will be permitted.

COLUMNS

Entrances can be justly enhanced with feature columns that add to the overall expression.

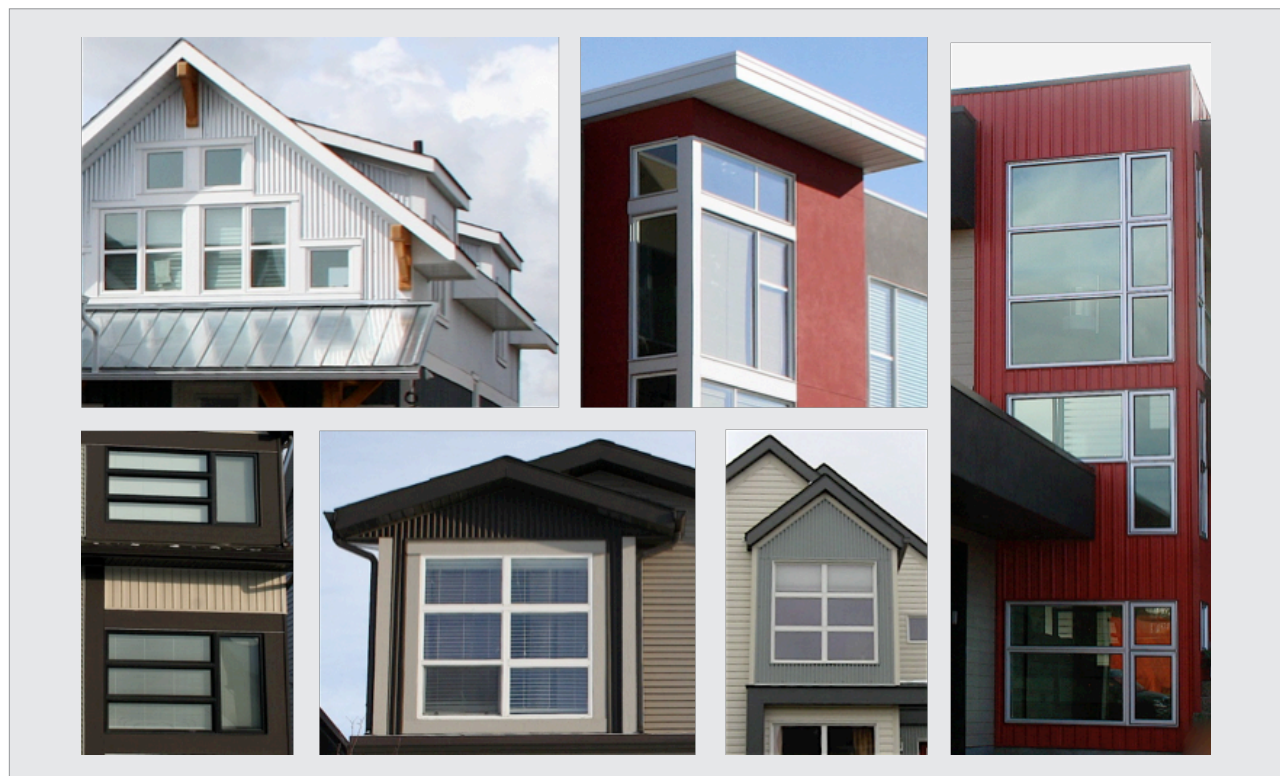
- ☞ All columns are to be designed in a modernized version suited to the style of the home these columns may include smooth finishes, simple square cap and base details, metal trim or finish.
- ☞ All columns must be a minimum size of 12"x12" unless well suited to the style and appear to have structural integrity.
- ☞ Modern style posts will include steel posts, square, round or I beam style.
- ☞ All columns must be finished in a decorative material, vinyl sided posts are not acceptable.

WINDOWS

Windows are an extremely important element of **Modern Heritage** style homes. Larger expanses of glass will establish the strength of the style and more unusual configurations will provide interest and excitement. This may include strong horizontal mullions, mullions or varying directions and non-symmetrical layouts and pane sizes.

All exteriors are to address windows in a significant manner.

Window styles, sizes and groupings should be proportionate to the wall space available



Acceptable window frame materials are:

- ☞ Prefinished vinyl
- ☞ Prefinished metal clad

CHIMNEYS/BOX-OUTS

Chimneys & box-outs provide interest on the exterior of a home. To ensure that they are treated as integral elements chimneys and box-outs must:

- ☞ Be finished to match the exterior wall material or suitable complementary finish.
- ☞ Extend down to grade in all exposed locations.

TRIMS & DETAILING

To ensure the clean, neat aspect of the **Modern Heritage** style is complemented, trim work must meet the following requirements:

- ☞ Trim material will be Smartboard or equivalent.
- ☞ Trim and detailing materials are to address long term maintenance , – painted surfaces are to be avoided.
- ☞ All stucco battens must be finished in Smooth finish acrylic stucco.
- ☞ Minimum fascia depth of 6" inches is required.
- ☞ Homes may not require window trims providing windows suit wall space without.
- ☞ Interesting and unusual detailing will be encouraged to promote a progressive modern edge to the community.





GARAGE DOORS

Front drive garages become a dominant element of the front façade of today's homes. Garages must be designed to be an integral element of the overall style of the home. **Modern Heritage** style homes are recommended to have a simple panel style door or a flat slab panel door.

Windows are permitted and glazing panels in unique configurations are preferred.

Garage doors must be painted to match the predominant siding colour or an acceptable complementary colour.

MODERN



TRADITIONAL



DETACHED GARAGES

All detached rear garages are to have an exterior design that matches and/or complements the exterior design of the home. This will include:

- ☞ Roof style that is consistent with the main roof of the home
- ☞ Gable end treatments and detailing to match the home
- ☞ Exterior materials and colours match to those on the home.

Rear detached garages are to have poured broom finish concrete driveways and/or aprons.



HIGH EXPOSURE ELEVATIONS

Homes with high exposure elevations (corner lots and rear exposure) will require detailing on the exposed elevations that represents the overall style of the home and includes similar detailing to that on the front elevation. These elevations must include:

- ☞ Increased level of detailing including finishes, materials, trims and features similar to the to the front elevation and consistent with the style of the home.
- ☞ Exterior materials that are consistent with those used on the front elevation.
- ☞ Roof forms that match the front and provide variety to the rear streetscape, particularly adjacent to Calgary Trail and backing onto ponds, parks and walkways.

HIGH EXPOSURE SIDE ELEVATIONS



HIGH EXPOSURE REAR ELEVATIONS





PARGING

All other high exposure elevations are to have minimal exposed parging and adhere to the maximum of 12" wherever possible.

ADDRESS PLAQUES

Throughout the community of Cavanagh the developer is providing address plaques for each of the homes. These plaques are to be installed in a visible location on the front elevation of the home and will require an area of 18" x 6".

PORTFOLIOS

The **Modern Heritage** style created to recognize and establish Cavanagh as a premier progressive community will be used exclusively through out Cavanagh. Builders are to ensure that each elevation in their portfolio addresses this style and are encouraged to utilize portfolio reviews prior to submitting for approvals. It is recommended that builders provide 2–3 suitable elevations for each model promoted in the community with additional elevations provided as necessary for more popular floor plans

MATERIALS & COLOURS

The community of Cavanagh is promoting long-term sustainability of the exteriors of all homes throughout the area with its insistence of maintenance free materials. The use of materials that provide prefinished surfaces that retain their integrity is encouraged.

PERMITTED MATERIALS

Roofing	Asphalt shingles Metal accent roof material	Trims	Hardboard Metal clad Vinyl Stucco
Wall materials	Hardboard/cement siding Vinyl siding (Traditional profile, no Dutch Lap) Architectural Vinyl siding Vinyl shakes Hardboard shakes Board & Batten	Masonry	Brick Stone Manufactured stone Stonetile

COLOURS

In Cavanagh, colour will be utilized to add to the interest and excitement of the Modern Heritage exteriors. Colour schemes that include unusual or dramatic colours to highlight signature elements are encouraged with the following considerations:

- ☞ Repetition of colour schemes will be monitored to ensure pleasing variety is achieved.
- ☞ Roof colours throughout Cavanagh will be limited to darker colours in shades of grey, brown and black.
- ☞ A wide variety of colours will be permitted in Cavanagh; homes with bold rich siding colours will be used in harmony with homes finished in lower contrast colour schemes with bold accents (ie: front doors).
- ☞ Large expanses of white wall material (ie: siding) will be avoided.
- ☞ Garage doors are to be painted to match the siding colour or an acceptable complimentary colour.

ADDITIONAL REQUIREMENTS

LANDSCAPING

Builders are to provide landscaping to the lot prior to receiving a final inspection completion. The landscaping is to include:

- ☞ Front Yard is to be sodded
- ☞ 1 tree is to be provided in the front yard, – minimum requirements for the tree are
 - Deciduous trees, – are to exceed 85mm caliper
 - Coniferous trees – are to be greater than 3M in height
- ☞ A minimum of 6 shrubs – height or spread of at least 600 mm at the time of planting.

A Landscape Deposit will be paid to ensure compliance with these guidelines. The amount of the deposit to be paid will be:

- a. \$5000.00 for each lot purchased pursuant to the Lot Purchase and Sale Agreement; or
- b. If the Purchaser forms part of the Vendor's builder group (which determination is to be made by the Vendor in its sole discretion), the sum of \$2500.00 for each lot which sum will be paid to the purchaser (builder) by each homeowner as set out in the Standard Terms and Conditions.

The Landscape Deposit will be held and dealt with in accordance with the Standard Terms and Conditions.

Completion of fencing is not a requisite to the final inspection, however if fencing is in place at the time of final inspection it will be assessed for compliance with the guideline spec. Non-compliance will be treated as a deficiency, affecting the refund of the landscaping deposit.

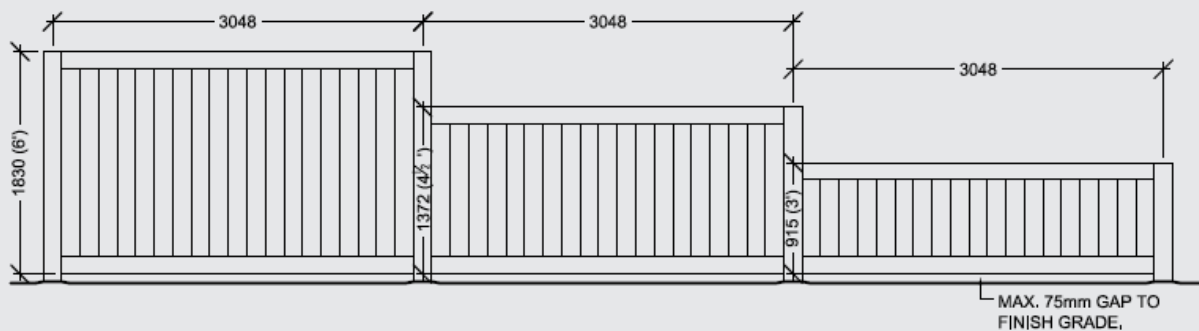
Upon completion of the landscaping, the purchaser will call for an inspection by the Vendor's consultant. If upon inspection the Vendor's consultant determines that the landscaping has not been satisfactorily complied with, there will be a charge of \$150.00 deducted from the Landscape Deposit for all re-inspections required. Upon approval of the landscaping requirements herein and the satisfaction of the other terms relating to the Landscape Deposit, subject to deductions made, the Vendor will refund the Landscape Deposit to the purchase, or if the Landscape Deposit is collected by the Purchaser from its homeowner, the Vendor will authorize the Purchaser to release the Landscape Deposit.

FENCING

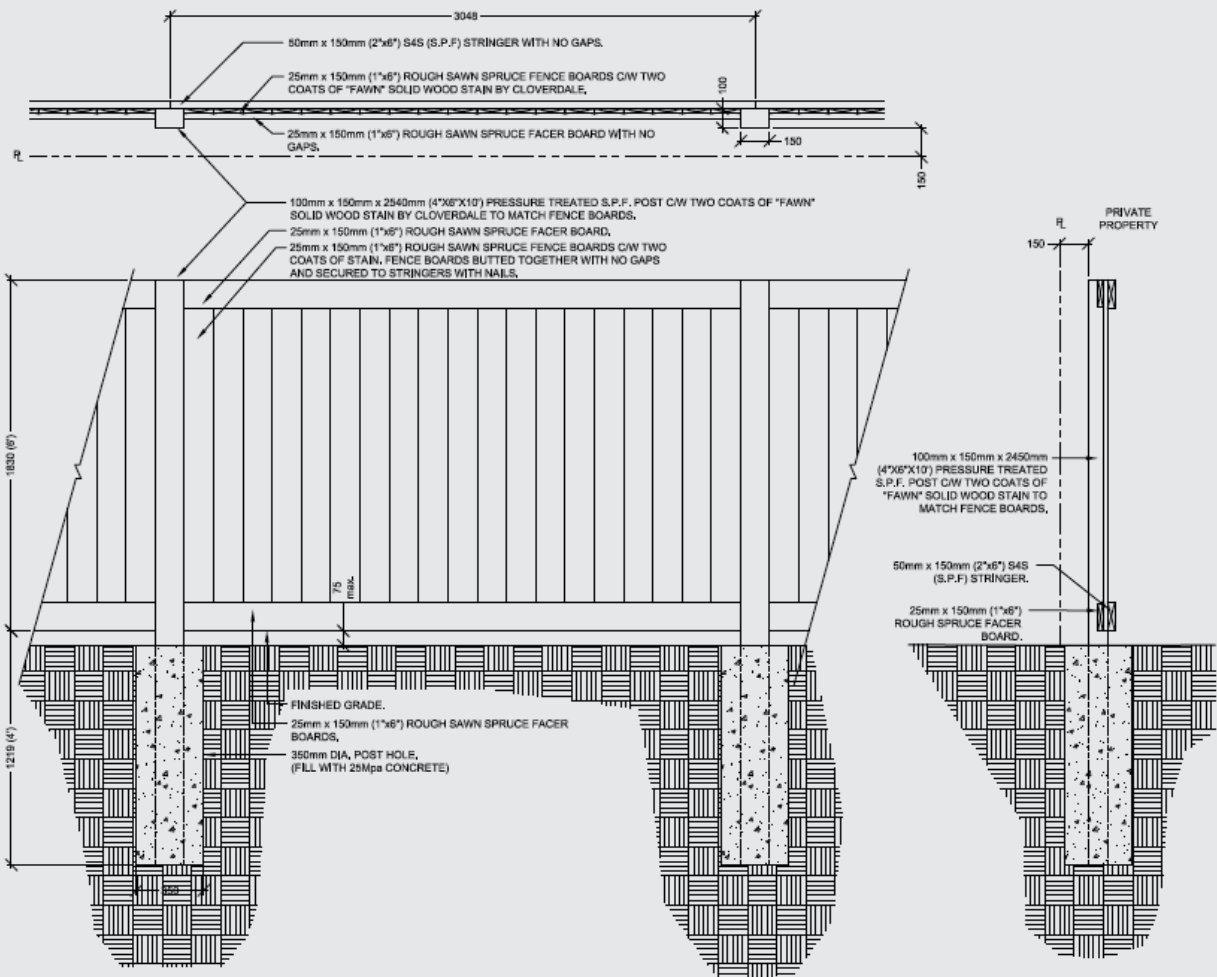
Any fencing installed on lots is to match the development standard design.

- ☞ All wood screen fences to be placed 150mm inside private property (unless otherwise noted)
- ☞ Ensure that front of posts is 1.5 meters from gasline
- ☞ All timber posts and beams to be pressure treated pine or fir, rough sawn timber painted with two coats solid wood stain by cloverdale on both side prior to installation
- ☞ All lumber shall be clean #1 construction grade pine, fir or spruce members, finished as per the details unless otherwise specified.
- ☞ All lumber shall be straight, sound and free of splints, warps, cracks, large knots and other defects
- ☞ All colors and type of stain are as per the details and to be applied as per manufacturer's specification and are to be submitted to the landscape architect for approval prior to installation
- ☞ All hardware to be galvanized
- ☞ Pressure treated posts to be treated with a solution of pentachlorophenol and petroleum to CSA-080
- ☞ Nails to be 89mm ardox coated from stringers to posts and 57mm Ardox coated for boards (3 per board)
- ☞ Contractor to call Alberta first; call at 1 800 242 3447 to have existing utilities located prior to start of any construction

- ☞ All dimensions are in millimeters (mm) unless otherwise noted
- ☞ This drawing to be read in conjunction with the written specifications, drawings and details for the project.



2
L6 **1800mm HT WOOD SCREEN FENCE - STEP DOWN**
SCALE: 1:50



1
L6 **STANDARD WOOD SCREEN FENCE DETAIL**
SCALE: 1:20

SIGNS

No permanent signage of any kind is to be installed within Cavanagh without the review and approval of the developer.

Builder may install temporary LOT signage only; no other builder signage will be permitted, all other signage will be installed by the developer.

RECREATIONAL / COMMERCIAL VEHICLES

Parking of any recreational or commercial vehicle is entirely as per the City of Edmonton by-law requirements.

DISCRETION

Developer and the Architectural Coordinators may apply their respective judgments when approving or disapproving anything regulated or controlled by these guidelines. The Developer and the Architectural Coordinator may provide relaxations to the guidelines in their sole and absolute discretion.

ENFORCEMENT

The Developer only may enforce the guidelines; no purchaser of any lot in the development may enforce these guidelines.

AMENDMENTS

The developer may from time to time amend these guidelines as it sees fit in its sole and absolute discretion.



PROCESS OF APPROVAL AND HOUSE CONSTRUCTION

The following process will be followed for submissions for architectural approval in The Hills at Charlesworth

REVIEW

The Purchaser shall review all lot information, marketing material and the Guidelines prior to choosing a lot.

SUBMISSION PROCESS

All submissions for architectural approval will be submitted online through the StreetscapePLUS Lot Management System. Access to StreetscapePLUS is available by invitation only and every user on the system must belong to a Group. There are several types of Groups on StreetscapePLUS, each with their own special set of features and view of information. Some types of Groups include:

- ☞ Builder
- ☞ Developer
- ☞ Consultant

If your Group is already setup then you are ready to Request Access. If you don't yet have a Group – then you can contact us directly to have one setup and request the orientation package.

Go Package: Basic Orientation

StreetscapePLUS for Builders

Our contact information can be found online at www.evans2design.com or at the end of this document.

PRELIMINARY APPROVAL

Beaverbrook strongly recommends that preliminary approval submissions be made for each lot in order to avoid the unnecessary expense of revising drawings and/or client disappointment.

The Purchaser must submit the following to the Architectural Consultant for a preliminary review:

- ☞ floor plans – sketches or existing drawings that include all exterior dimensions
- ☞ front elevation and all exposed elevations – in the case of corner lots or lots exposed to open spaces
- ☞ materials and colours selections, if customer preference is already known

This information will be reviewed and returned along with design comments, suggested revisions, material and colour comments and siting requirements.

The purchaser is to fully review all preliminary information supplied and make all necessary changes to the drawings and final submission information prior to proceeding with final approval.

SITE CHECK

The Purchaser is responsible for checking the site, legal plan of survey, building grade plan, marketing map and title to the Lands for locations of:

- ☞ light standards
- ☞ bus zones
- ☞ fire hydrants
- ☞ utility right of ways or easements for drainage
- ☞ catch basins
- ☞ transformer boxes or utility pull boxes
- ☞ restrictive covenants
- ☞ super mail boxes

or other items which may affect the house design, impact it's siting or the size or location of the driveway and report all problems to the Architectural Consultant in writing.

FINAL APPROVAL

The Purchaser shall submit online the following to the Architectural Consultant for final approval:

- ☞ professionally drawn working drawings in pdf format:
- ☞ floor plans
- ☞ foundation plans
- ☞ cross sections – complete with all dimensions from subfloors to footings and subfloors to front and rear grades
- ☞ four elevations – complete with all exterior materials clearly noted
- ☞ Plot Plan complete with proposed grades
- ☞ Final Approval Form – completed with materials and colours

NOTE: Upon return of “the Architectural Approval” the Purchaser is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the consultant with any concerns or discrepancies.

REVISIONS

The Purchaser shall contact the Design Consultant through StreetscapePLUS and obtain written approval for any revisions to the architectural approval before the revisions are applied. Charges for revisions after Final Approval are subject to a fee charged directly to the builder.

BUILDING PERMIT

The Purchaser shall apply for a building permit from the appropriate authority.

SURVEYOR STAKEOUT

When the approved plans are finalized and approved by the Architectural Consultant, the Purchaser may proceed to stakeout the property.

FINAL LOT INSPECTION

Upon completion of the house, the builder will submit an approved, stamped, grading certificate from the City of Edmonton to the consultant to initiate a Final Inspection of the home. Homes must be fully complete with all seasonal work done and driveway installed.



CONTACTS

DEVELOPER

CAMERON COMMUNITIES/ MACLAB LAND DEVELOPMENT

Contact: Crystal Brightwell
10205 111 Street NW, Edmonton, Alberta T5K 2V6
Phone: (780) 425-3515

ENGINEER

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